

# PROPOSED RESIDENTIAL FLAT BUILDING



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RESIDENTIAL AREA SCHEDULE						
UNIT NO.	UNIT TYPE	INTERNAL AREA (m <sup>2</sup> )	BALCONY (m <sup>2</sup> )	TOTAL (m <sup>2</sup> )	UNIT ST. (m <sup>3</sup> )	BASEMENT ST. (m <sup>3</sup> )
LEVEL 3-7 (5)						
301-701	3 BED	108	26	134	7.8	20
302-702	2 BED	78	23	101	4.6	20
303-703	2 BED	79	13	92	4.0	20
304-704	2 BED + STUDY	93	10	103	4.1	20
305-705	1 BED	50	14	64	3.1	20
LEVEL 8-18 (11)						
801-1801	3 BED + STUDY	112	14	126	6.7	20
802-1802	3 BED	103	27	129	7.4	20
803-1803	2 BED + STUDY	87	16	103	4.0	20
804-1804	1 BED	50	15	65	3.1	20
LEVEL 19-24 (6)						
1901-2401	3 BED + STUDY	113	14	127	6.7	20
1902-2402	3 BED	104	26	130	7.4	20
1903-2403	3 BED + STUDY	124	46	170	5.0	20
LEVEL 25						
2501	4 BED + STUDY	146	22	168	5.0	20
2502	4 BED + STUDY	139	62	201	5.0	20
TOTAL						
10% AFFORDABLE HOUSING		825 m <sup>2</sup>				

CONCEPT DEVELOPMENT DATA				
LEVEL	HEIGHT (m²)	FLOORS	GFA (m²)	UNITS
ROOF	3.0			
LEVEL 25	3.2	RESIDENTIAL	307	2
LEVEL 24	3.2	RESIDENTIAL	362	3
LEVEL 23	3.2	RESIDENTIAL	362	3
LEVEL 22	3.2	RESIDENTIAL	362	3
LEVEL 21	3.2	RESIDENTIAL	362	3
LEVEL 20	3.2	RESIDENTIAL	362	3
LEVEL 19	3.2	RESIDENTIAL	362	3
LEVEL 18	3.2	RESIDENTIAL	379	4
LEVEL 17	3.2	RESIDENTIAL	379	4
LEVEL 16	3.2	RESIDENTIAL	379	4
LEVEL 15	3.2	RESIDENTIAL	379	4
LEVEL 14	3.2	RESIDENTIAL	379	4
LEVEL 13	3.2	RESIDENTIAL	379	4
LEVEL 12	3.2	RESIDENTIAL	379	4
LEVEL 11	3.2	RESIDENTIAL	379	4
LEVEL 10	3.2	RESIDENTIAL	379	4
LEVEL 9	3.2	RESIDENTIAL	379	4
LEVEL 8	3.2	RESIDENTIAL	379	4
LEVEL 7	3.2	RESIDENTIAL	437	5
LEVEL 6	3.2	RESIDENTIAL	437	5
LEVEL 5	3.2	RESIDENTIAL	437	5
LEVEL 4	3.2	RESIDENTIAL	437	5
LEVEL 3	3.2	RESIDENTIAL	437	5
LEVEL 2	3.2	COMMUNAL AREA	114	
LEVEL 1	3.6	COMMUNAL AREA	973	
GROUND FLOOR	5.8	COMMUNAL AREA	477	
BASEMENT 1	3.3	CARPARKING	463	5
BASEMENT 2	3.1	CARPARKING		
BASEMENT 3	3.1	CARPARKING		
BASEMENT 4	3.1	CARPARKING		
TOTAL HEIGHT	89.2	TOTAL GFA	10,860	89

UNIT MIX						
1 BED		2 BED		3 BED		4 BED
	STUDY		STUDY		STUDY	
						2
					3	
					3	
					3	
					3	
					3	
1			1	1	1	
1			1	1	1	
1			1	1	1	
1			1	1	1	
1			1	1	1	
1			1	1	1	
1			1	1	1	
1			1	1	1	
1			1	1	1	
1		2	1	1		
1		2	1	1		
1		2	1	1		
1		2	1	1		
1		2	1	1		
1 BED		2 BED		3 BED		4 BED
16		26		45		2
18.0 %		29.0 %		51 %		2.0 %

DRAWN BY      CHECKED BY  
LA              VS



# CONCEPT DEVELOPMENT APPLICATION

## LIST OF AMENDMENTS

THE LIST OF AMENDMENTS BELOW IS AN OVERVIEW OF THE CHANGES TO THE CONCEPT DEVELOPMENT APPLICATION TO REFLECT DESIGN COMPETITION WINNING DESIGN.

### GENERAL

- NUMBER OF UNITS REDUCED FROM 100 TO 89 UNITS
- HEIGHT OF BUILDING REDUCED BY 500mm
- NUMBER OF CARSPACES REDUCED FROM 130 TO 122
- GENERAL FLOOR PLAN REPLANNING AND BUILT FORM CHANGES TO SUIT
- CHANGES TO VEHICULAR ACCESS FROM STREET TO INTERNAL RAMP
- FACADE DETAILING AND MATERIALS NOW CLEARLY DEFINED
- ARCHITECTURAL EXPRESSION AND FORM NOW CLEARLY DEFINED.

### GROUND FLOOR

- DRIVEWAY WIDTH INCREASED TO ALLOW FOR A CATEGORY 3 DRIVEWAY AS REQUESTED BY COUNCIL
- BASEMENT ENTRY RAMP LOCATION RELOCATED TO THE EASTERN SIDE OF THE CORE TO ALLOW FOR DROP OFF ZONE.
- MINOR AMENDMENTS TO THE BUILDING FORM AND COMMUNAL ROOM AREAS.
- LIFT/STAIR CORE MODIFIED TO INCLUDE THREE PRIMARY LIFTS (APPLIES THROUGHOUT BUILDING).

### LEVEL 1

- MINOR AMENDMENTS TO THE BUILDING FORM AND COMMUNAL ROOM AREAS.
- GREEN AWNING HAS BEEN INTRODUCED ALONG THE NORTHERN BOUNDARY.
- VOID OVER DROP OFF ZONE INTRODUCED TO INCREASE NATURAL LIGHT ON THE GROUND FLOOR AND DEEP COMMUNAL AREAS ON LEVEL 1.

### LEVEL 2

- COMMUNAL ROOMS RELOCATED TO THE WESTERN FAÇADE TO INCREASE ACOUSTIC BENEFITS.
- MINOR AMENDMENTS TO THE BUILDING FORM AND COMMUNAL ROOM AREAS.
- LANDSCAPED AREA INCREASED TO THE SOUTHERN FAÇADE TO INCREASE PRIVACY.

### TOWER FLOOR PLANS

- MINOR AMENDMENTS TO BUILDING FORM/FLOOR PLANNING.
- INCREASED SETBACKS TO THE NORTH AND SOUTH NEIGHBOURING PROPERTIES.
- NUMBER OF UNITS REDUCED – FROM 100 TO 89 UNITS.
- BREAK UP OF TYPICAL LEVELS AMENDED TO INCLUDE A LOWER TOWER, MID TOWER, UPPER TOWER, AND PENTHOUSE LEVELS.
- NUMBER OF LEVELS REDUCED FROM 26 TO 25 TO ALLOW FOR A 3.2M FLOOR-TO-FLOOR ZONE AS REQUIRED BY PANEL
- OVERALL HEIGHT OF BUILDING REDUCED FROM RL ..... TO RL183300.**

### BASEMENT

- COMMUNAL ROOM AREA RELOCATED TO BASEMENT.
- ADDITIONAL SERVICES ROOM AND TANKS INTRODUCED ON BASEMENT LEVEL 1.
- BASEMENT AMENDED TO USE FLAT AISLES AND DIRECT RAMP ACCESS TO EACH BASEMENT LEVEL.
- MINOR AMENDMENTS TO PARKING NUMBERS TO REFLECT REDUCED UNIT NUMBERS AND DWELLING MIX.
- ADAPTABLE SPACES AMENDED TO INCLUDE SHARED ZONES.

### SECTION AND ELEVATIONS

- FLOOR-TO-FLOOR INCREASE TO 3.2M ON TYPICAL RESIDENTIAL LEVELS.
- ONE LEVEL OF BUILDING REMOVED TO ACCOMMODATE THE INCREASED HEIGHT – REDUCED UNIT NUMBERS.
- GRIDDED FAÇADE INTRODUCED TO INCREASE SOLAR SHADING.
- MINOR AMENDMENTS TO THE BUILDING FORM.
- INCREASED SETBACKS TO THE NORTH AND SOUTH NEIGHBOURING PROPERTIES.

### FAÇADE

- FAÇADE CONCEPT AMENDED AND FIXED TO REFLECT DESIGN COMPETITION WINNING FAÇADE. FAÇADE INCLUDES A CONTEMPORARY MATERIAL PALETTE OF THE BUILDING, (PROVIDES CLEAR DISTINCTION BETWEEN THE PODIUM, LOWER TOWER, AND UPPER TOWER COMPLETED BY AESTHETIC FEATURES THAT FORM A COHESIVE YET ELEGANT EXPRESSION OF THE DEVELOPMENT).

THE LIST OF AMENDMENTS BELOW IS AN OVERVIEW OF THE CHANGES IN RESPONSE THE COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.

- THE BASEMENT LAYOUT HAS BEEN AMENDED TO REDUCE THE NUMBER OF SPACES FROM 122 TO 57. VISITOR SPACES HAVE BEEN IDENTIFIED ON THE PLAN. IN RESPONSE TO POINT 1, 7(g) AND 7(h) OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- MINOR AMENDMENT WASTE ROOM ON BASEMENT LEVEL ONE TO SHOW BULKY WASTE AREA AS PER POINT 9 OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- MINOR AMENDMENT TO THE GROUND FLOOR LOADING BAY TO SHOW BIN AND BULKWASTE HOLDING ZONES. A 12.5m LOADING BAY HAS BEEN PROVIDED TO ACCOMMODATE COUNCIL'S HEAVY RIDGED WASTE COLLECTION VEHICLE AND 2M LIFTING AREA AT THE REAR. LOADING BAY IS POSITIONED TO ALLOW TWO-WAY TRAFFIC IN FRONT OF THE PARK VEHICLE TO ACCESS THE BASEMENT. IN RESPONSE TO POINT 9 OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- MINOR AMENDMENTS TO THE VEHICLE ENTRY AND DROPOFF ZONE. FULL TURNING CIRCLE PROVIDED WITHIN DROPOFF ZONE BY A B99 VEHICLE. VISITOR BIKE PARKING PROVIDED AT GROUND LEVEL. VEHICLE CROSS AMENDED TO ALLOW SUFFICIENT SPACE FOR A PEDESTRIAN AND CYCLISTS TO WAIT. PAVING PATTERN PROVIDED TO SEPARATE PUBLIC ZONE AND IMPROVE THE QUALITY OF THE DROPOFF ZONE. IN RESPONSE TO POINT 7 OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- REMOVAL OF THE FLOOD VOID AND MINOR AMENDMENT TO THE GROUND FLOOR PLAN TO INCREASE THE SETBACK TO THE SOUTHEASTERN CORNER OF THE SITE TO 689 PACIFIC HIGHWAY, ALLOWING NATURAL OVERLAND WATERFLOW REFER TO FLOOD RESPONSE FOR MORE INFORMATION. MINOR AMENDMENT TO BASEMENT ENTRY RAMP TO SUITE. MINOR AMENDMENT TO EASTER FAÇADE TO GROUND FLOOR AND LEVEL 1 TO ACCOMMODATE THE OPENING TO 689 PACIFIC HIGHWAY.
- MINOR AMENDMENT TO THE LOCATION OF THE OSD TANK TO ALLOW SAFE ACCESS AWAY FROM THE LOADING BAY AND DIRECT OVERFLOW TO THE EXTERNAL FAÇADE AS PER POINT 5 OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- ADDITIONAL DRAWINGS HAVE BEEN CREATED TO PROVIDE MORE INFORMATION ON THE PROPOSED HEIGHT PLANE AS PER POINT 2 OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- ADDITIONAL DRAWINGS HAVE BEEN CREATED TO PROVIDE MORE INFORMATION ON THE PROPOSED VEHICLE CREST AT THE ENTRY OF PACIFIC HIGHWAY AND THE OSD TANK LOCATION ABOVE THE BASEMENT RAMP AS PER POINT 5(c) AND 6(b) OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- GFA PLANS HAVE BEEN AMENDED TO IDENTIFY AREAS THAT COULD BE USED FOR NON-RESIDENTIAL PURPOSES ON THE AMENDED WLEP POST 30<sup>TH</sup> OF JUNE 2023 AS PER POINT 4(ii) OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- ADDITIONAL DRAWINGS HAVE BEEN CREATED TO PROVIDE MORE INFORMATION ON THE SUN ACCESS TO THE RECREATIONAL ZONE (CROQUET CLUB) TO THE EAST OF THE SITE AS PER POINT 4 (vii) OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- WASTE BINS ADDED TO RESIDENTIAL LEVELS AS PER POINT 9(D) OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- OTHER MINOR AMENDMENTS TO THE ARCHITECTURAL DRAWINGS
- AFFORDABLE HOUSING HAS BEEN UPDATED TO INCLUDE A TOTAL OF 10% OF THE RESIDENTIAL UNIT AREA. UNITS IDENTIFIED ON THE FLOOR PLANS AS PER PER POINT 3 OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.
- ADDITIONAL DRAWINGS HAVE BEEN CREATED TO PROVIDE MORE INFORMATION ON THE POTENTIAL EASEMENTS WITHIN THE PROPERTY TO BENEFIT 689 PACIFIC HIGHWAY AS PER POINT 4 (viii) OF COUNCIL'S RFI DATED 8<sup>TH</sup> APRIL 2024.

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STATUS

### CONCEPT DESIGN

Do not scale drawings. Verify all dimensions on site. This drawing is NOT SUITABLE for construction.

GRAPHIC SCALE

NOT TO SCALE

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P1	18.01.24	Issue for Consultant
ISS	DATE	PURPOSE OF ISSUE

CLIENT

DPG Project 38 Pty Ltd

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17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

## CDA-001

ISSUE

## B

JOB NO.

DPG2309

SCALE

@ A1

DATE

29.04.24

DRAWING TITLE

LIST OF AMENDMENTS

DRAWN BY  
LA

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VS



Podium

- The earthy tones and landscape define the podium and lower tower, both sitting predominantly in the tree canopy zone.
- An organically inspired clay brick and landscaped podium draws inspiration from materials and textures found in the local natural and built environment.
- Establishes a rich integration of the landscape at ground level, cascading down the horizontal cantilevering planes and roofs. The earthy tones and landscape define the podium and lower tower, both sitting predominantly in the street tree canopy plane.
- Facilitating free-flowing movement through podium levels promoting connectivity and creating opportunities for gathering and reflection.

Tower Form

- Rising from the podium, the tower form is characterised by an architectural order consisting of finely detailed horizontal bands, grids and overhangs that respond to the building’s orientation.
- Deep reveals on the grids provide necessary protection from harsh climate whilst enabling expansive views, access to winter sun, daylight and ventilation to the majority of the units.
- Soft curves and deep recesses emphasis the corners of the tower, breaking down the mass into a series of slender proportions and further reducing the mass of this already modest floorplate.
- The proposed curated slender proportions will be consistent with the character of the current and future streetscape while enhancing the building's relationship to the future likely slender tower on the smaller site to the south.

Materiality

- The contemporary material palette of the building provides a clear distinction between the podium, lower tower, and upper tower while completed by the aesthetic features that form a cohesive yet elegant expression of the development.

Public Domain

- Clay brickwork has been chosen for the podium and lower tower as a local vernacular material. It is a suitable and sustainable response not only to the recent European Heritage but also as a building material that has a direct relationship with the land and earth.
- The free-flowing organic design suits the small modular nature of the material and allows the locally inspired native landscape to cascade and dominate the streetscape.
- The subtle inset on the western facade establishes a welcoming entry point to the residential lobbies where users have a visual connection to the external environment immediately upon entry.
- An enlarged urban domain, active streetscapes and future laneways featuring the integration of public art are met with an organically inspired clay brick taking inspiration from materials and textures found in the local natural and built environment.



TEXTURED GREY GRC



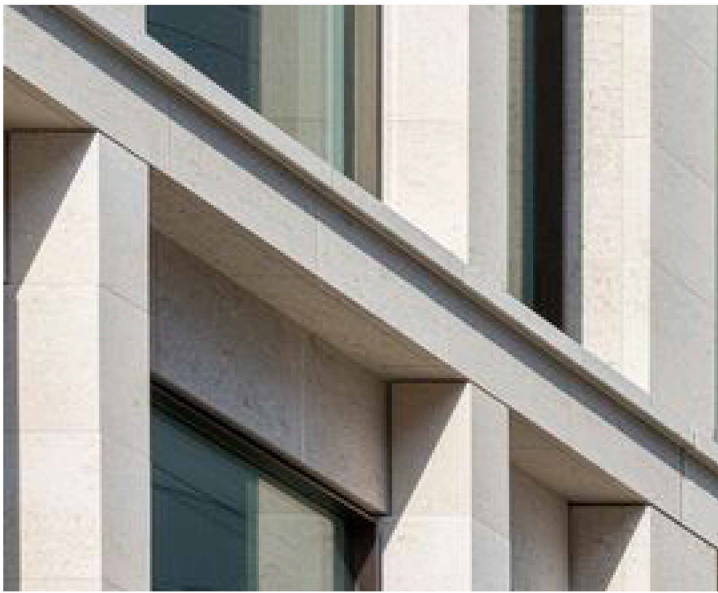
LIGHT PASTEL GREEN CLADDING



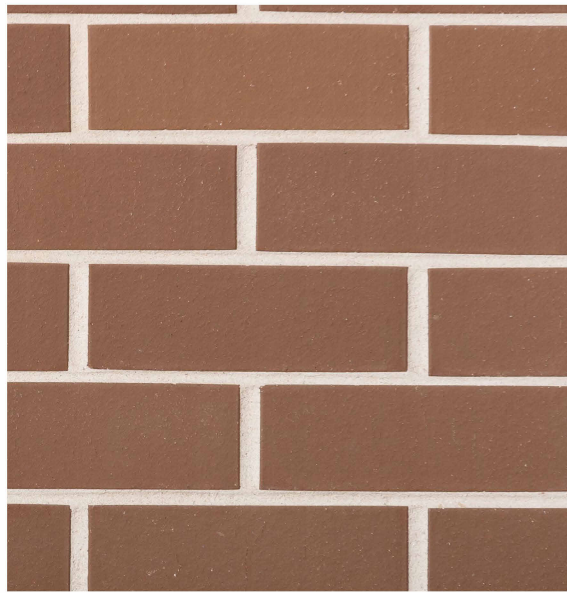
CLAY BRICK GRC TEXTURE



BRONZE WINDOW FRAMES



GRC CAPPING PROFILE



BRICKS & BRICK PANELS



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GRAPHIC SCALE

NOT TO SCALE

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A	01.02.24	Issue for Concept DA
P1	18.01.24	Issue for Consultant
ISS	DATE	PURPOSE OF ISSUE

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PROJECT  
CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

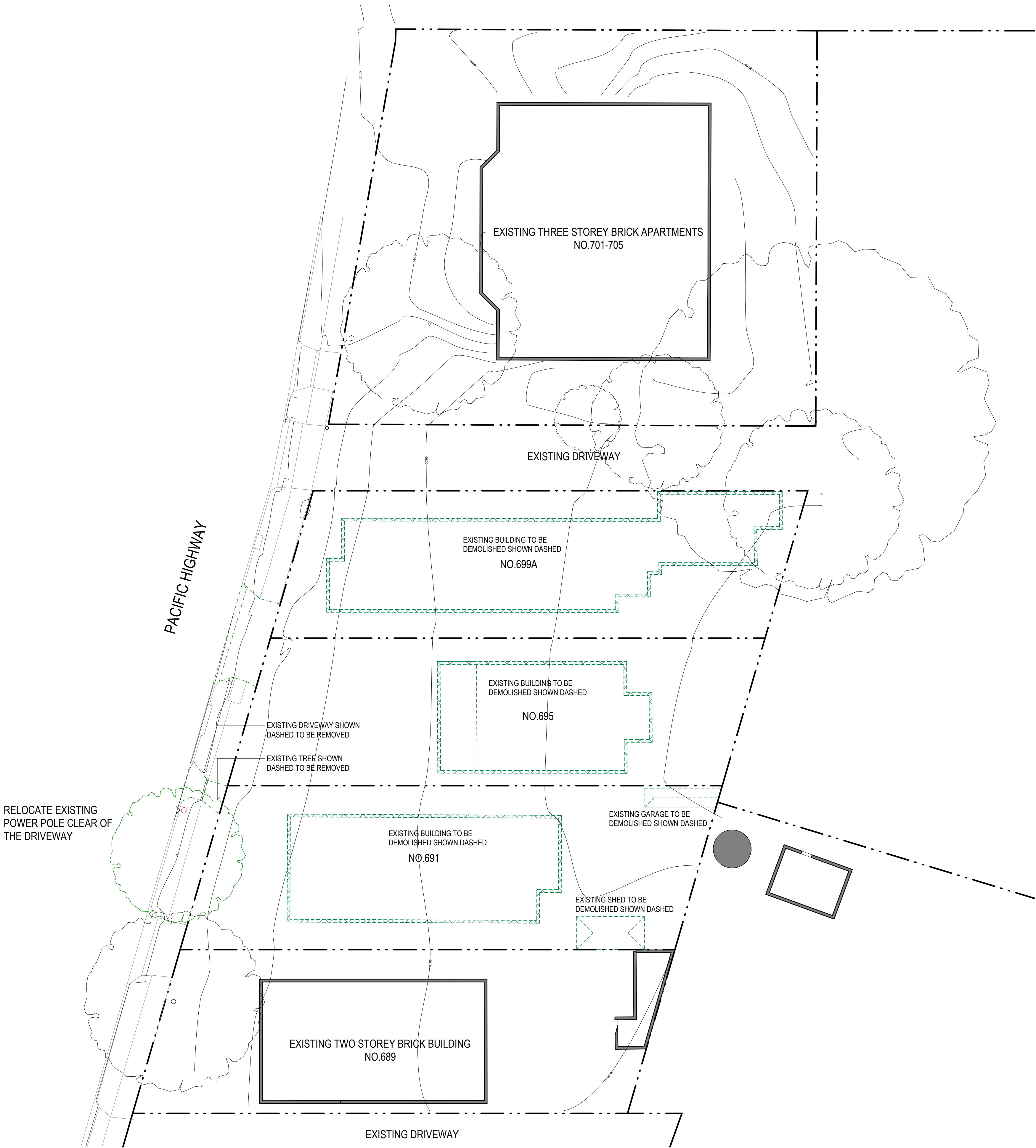
DRAWING NO. ISSUE  
CDA-002 A

JOB NO. SCALE DATE  
DPG2309 @ A1 01.02.24

DRAWING TITLE  
FACADE CONCEPT MATERIALS AND FINISHES

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LA VS





STATUS

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### GRAPHIC SCALE

1:400 @ A3 0 5m 10m  
1:200 @ A1

### DRAWING NOTES

A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
ISS	DATE	PURPOSE OF ISSUE

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### PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

### DRAWING NO.

**CDA-010**

### ISSUE

**A**

### JOB NO.

DPG2309

### SCALE

1 : 200@ A1

### DATE

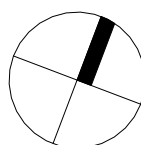
01.02.24

### DRAWING TITLE

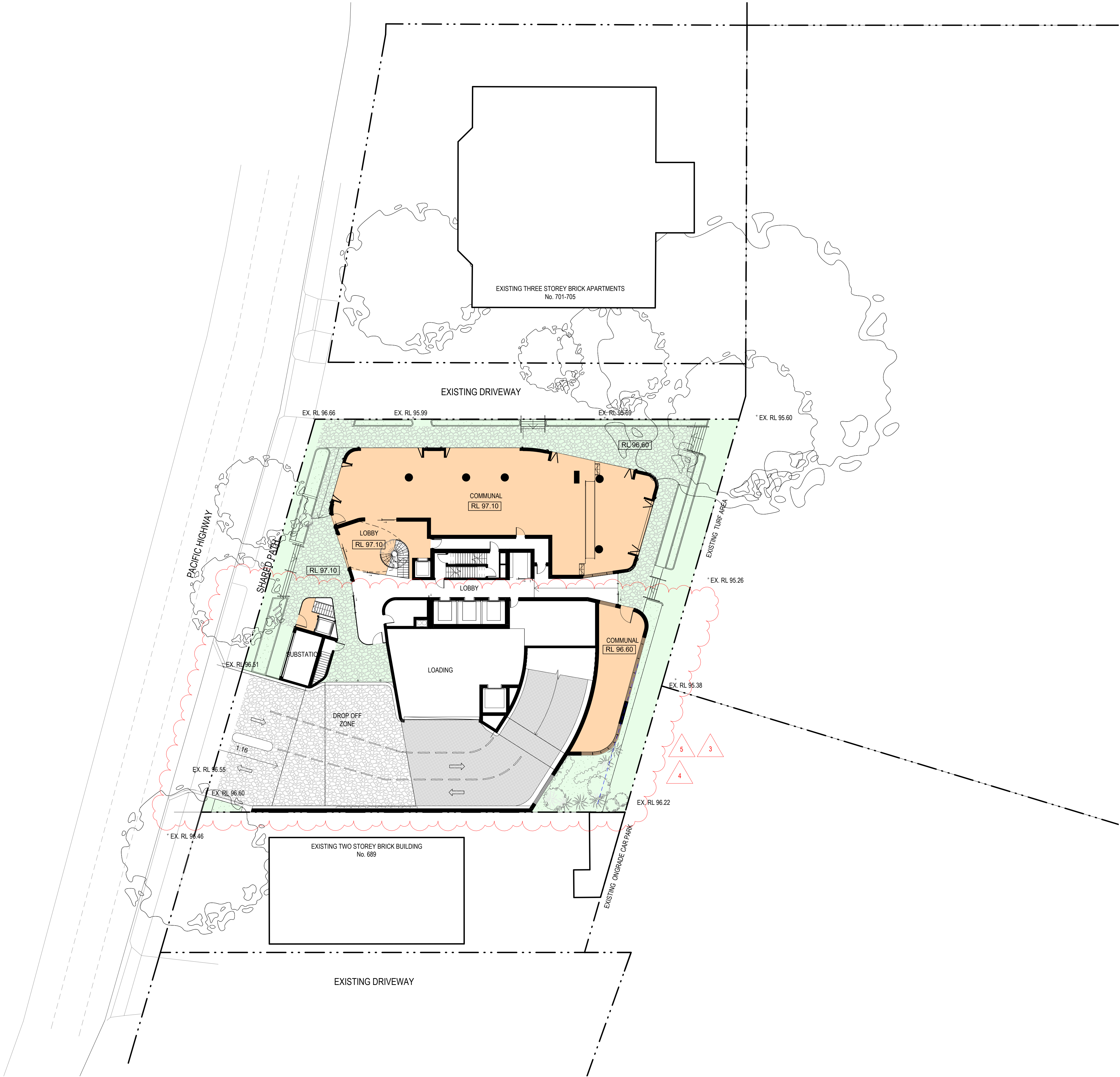
DEMOLITION PLAN

DRAWN BY  
LA

CHECKED BY  
VS







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### GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

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### PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

### DRAWING NO.

CDA-011

### ISSUE

B

### JOB NO.

DPG2309

### SCALE

1 : 200@ A1

### DATE

29.04.24

### DRAWING TITLE

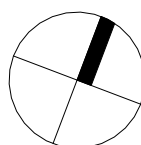
SITE PLAN

### DRAWN BY

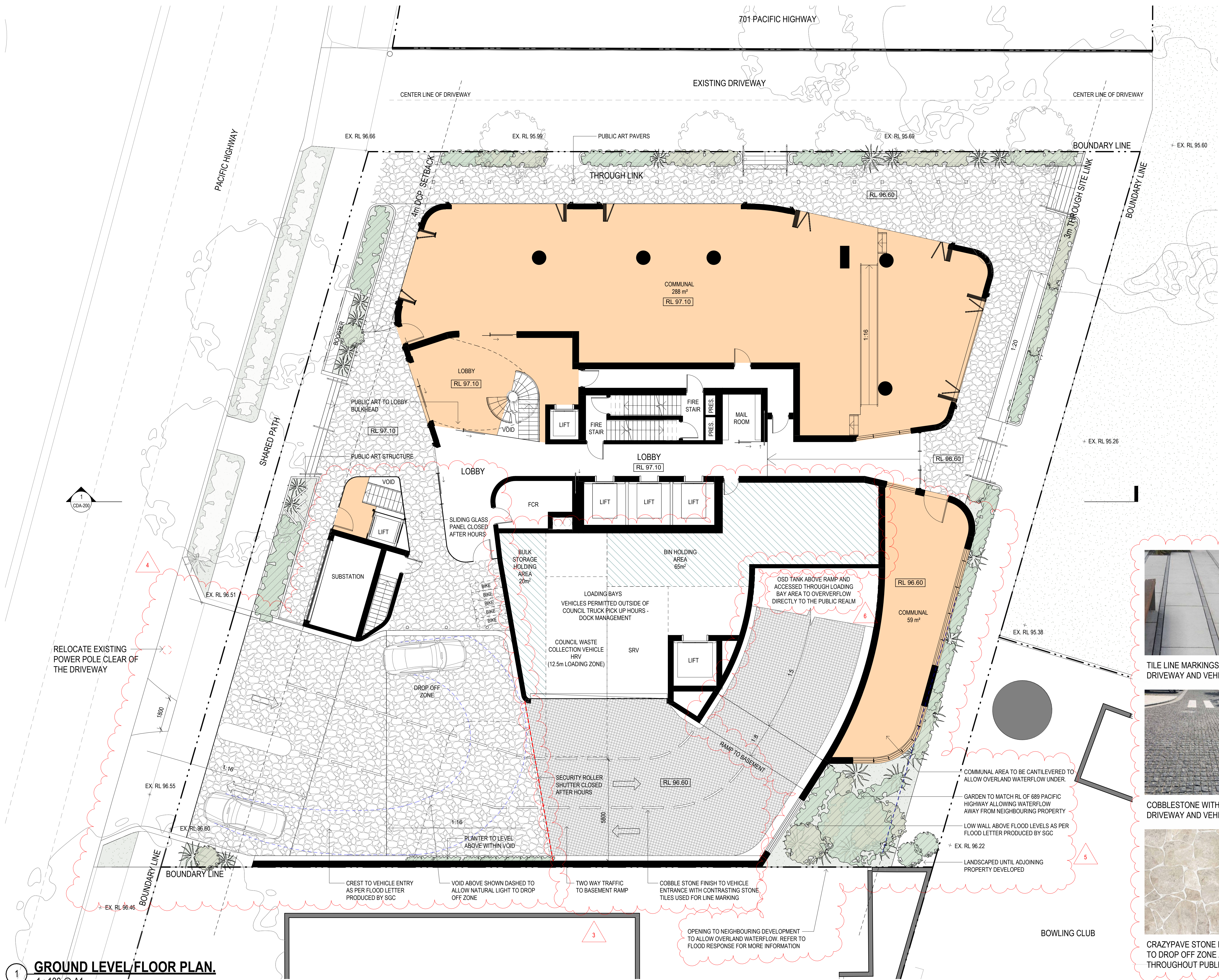
LA

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VS







1 **GROUND LEVEL FLOOR PLAN.**  
1: 100 @ A1

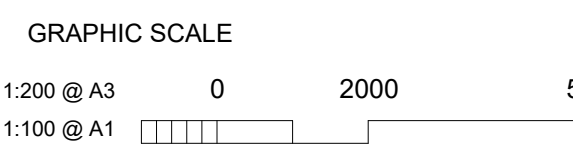
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P3	18.01.24	Issue for Consultant
P2	15.01.24	Issue for Consultants
P1	11.01.24	Issue for Consultants

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**PROJECT**  
CHATSWOOD PH

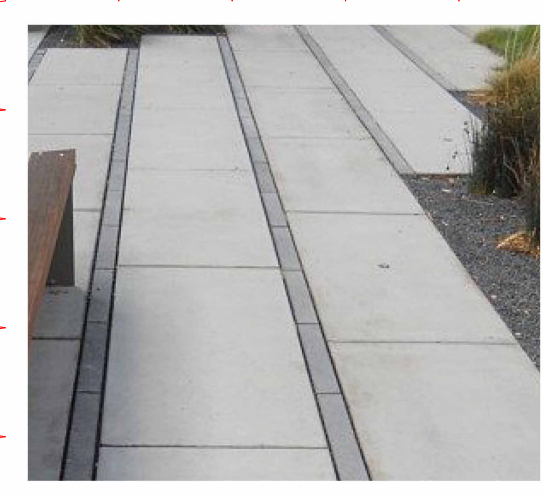
691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO. **CDA-100** ISSUE **B**

JOB NO. DPG2309 SCALE 1: 100@ A1 DATE 29.04.24

DRAWING TITLE  
GROUND FLOOR PLAN

DRAWN BY LA CHECKED BY VS



TILE LINE MARKINGS WITHIN DRIVEWAY AND VEHICLE ENTRY



COBBLESTONE WITHIN DRIVEWAY AND VEHICLE ENTRY



CRAZYPAVE STONE FLOORING TO DROP OFF ZONE AND THROUGHOUT PUBLIC SPACE



COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA

1 LEVEL 1 FLOOR PLAN.  
1: 100 @ A1

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STATUS

CONCEPT DESIGN

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GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
ISS	DATE	PURPOSE OF ISSUE

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CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

CDA-101

ISSUE

B

JOB NO.

DPG2309

SCALE

1 : 100@ A1

DATE

29.04.24

DRAWING TITLE

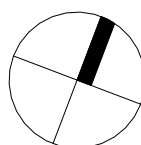
LEVEL 1 FLOOR PLAN

DRAWN BY

LA

CHECKED BY

VS





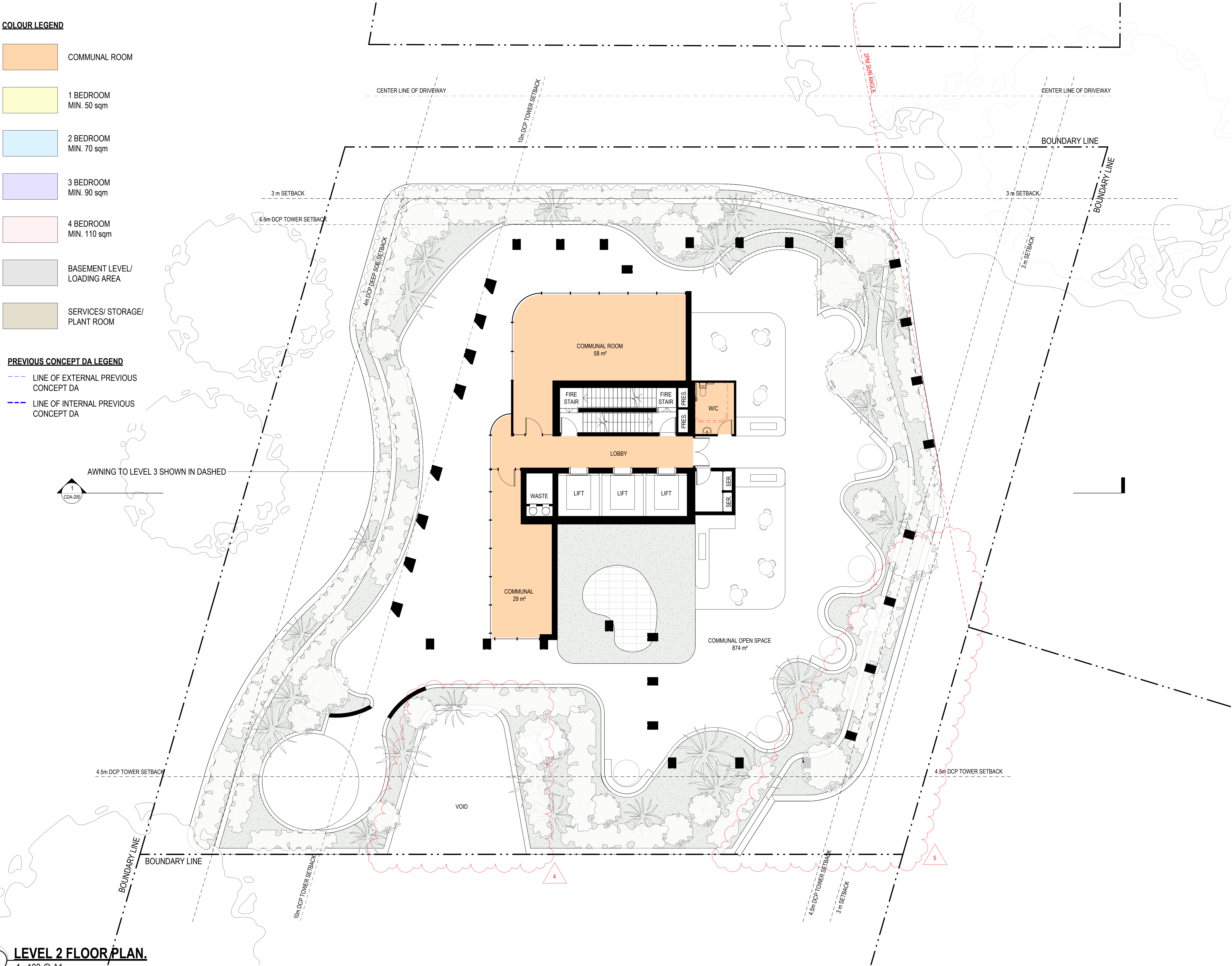
COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA

1 LEVEL 2 FLOOR PLAN.  
1 : 100 @ A1



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STATUS

CONCEPT DESIGN

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This drawing is NOT SUITABLE for construction.

GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
ISS	DATE	PURPOSE OF ISSUE

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PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

CDA-102 B

JOB NO.

DPG2309

SCALE

1 : 100@ A1

ISSUE

DATE

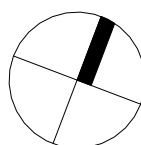
29.04.24

DRAWING TITLE

LEVEL 2 FLOOR PLAN

DRAWN BY  
LA

CHECKED BY  
VS





COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA



1 LVL 3-7 FLOOR PLAN.  
1 : 100 @ A1

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STATUS

CONCEPT DESIGN

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This drawing is NOT SUITABLE for construction.

GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
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DRAWING NO.

CDA-103 B

JOB NO.

DPG2309

SCALE

1 : 100@ A1

DATE

29.04.24

DRAWING TITLE

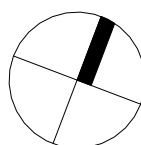
LEVEL 3-7 FLOOR PLAN

DRAWN BY

LA

CHECKED BY

VS





COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA



1 LVL 8-18 FLOOR PLAN  
1 : 100 @ A1

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GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
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CHATSWOOD

DRAWING NO.

CDA-108 B

JOB NO.

DPG2309

SCALE

1 : 100@ A1

DATE

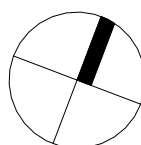
29.04.24

DRAWING TITLE

LEVEL 8-18 FLOOR PLAN

DRAWN BY  
LA

CHECKED BY  
VS





COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA



1 LVL 19-24 FLOOR PLAN.  
1 : 100 @ A1

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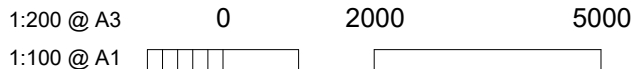


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CONCEPT DESIGN

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GRAPHIC SCALE



DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
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CHATSWOOD PH

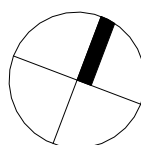
691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO. ISSUE  
**CDA-119 B**

JOB NO. SCALE DATE  
DPG2309 1 : 100@ A1 29.04.24

**DRAWING TITLE**  
LEVEL 19-24 FLOOR PLAN

DRAWN BY CHECKED BY  
LA VS



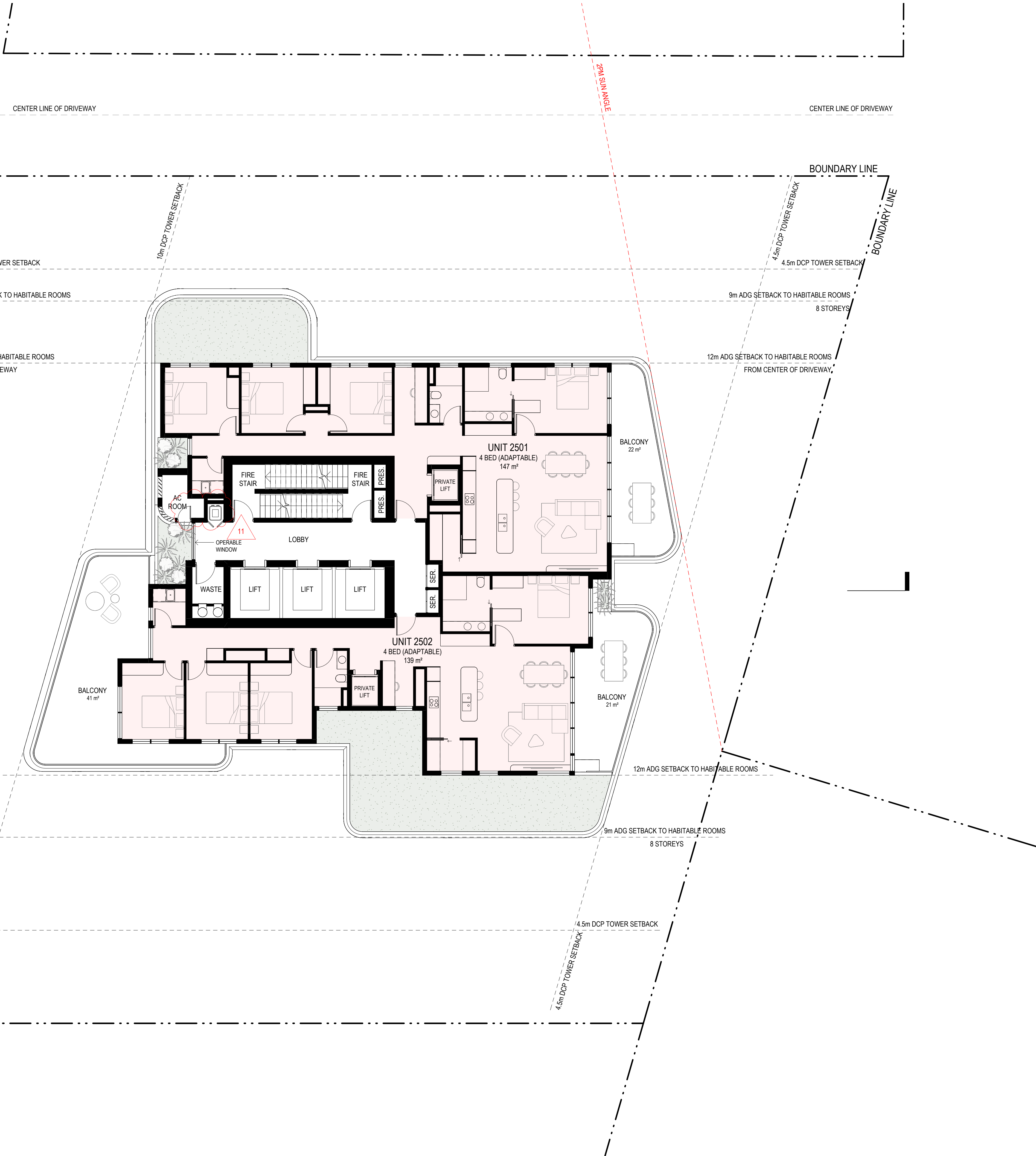


COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA



1 LEVEL 25 FLOOR PLAN.  
1 : 100 @ A1

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CONCEPT DESIGN

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GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
ISS	DATE	PURPOSE OF ISSUE

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CHATSWOOD PH

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CHATSWOOD

DRAWING NO.

CDA-125

ISSUE

B

JOB NO.

DPG2309

SCALE

1 : 100@ A1

DATE

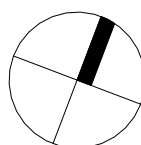
29.04.24

DRAWING TITLE

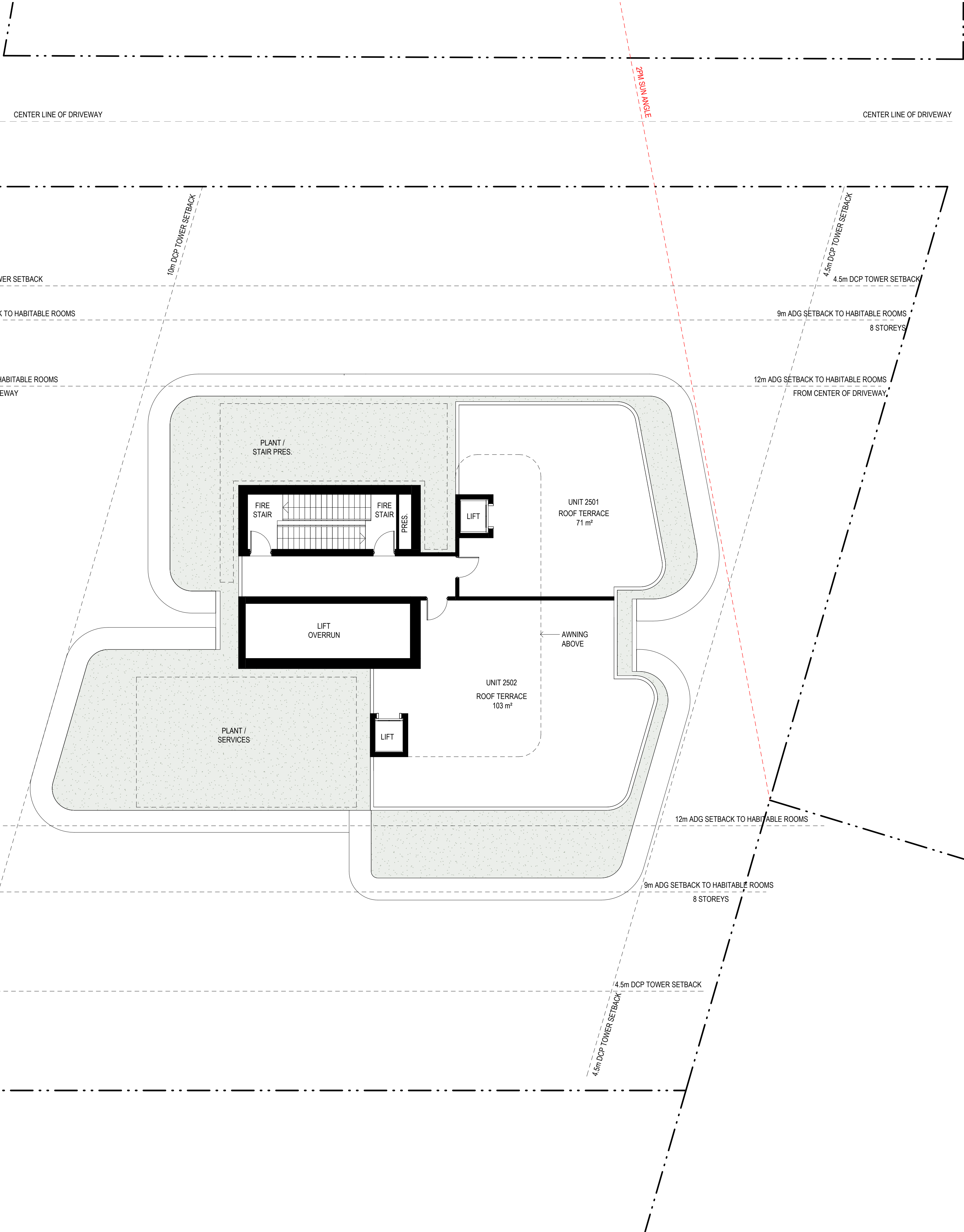
LEVEL 25 FLOOR PLAN

DRAWN BY  
LA

CHECKED BY  
VS







STATUS

## CONCEPT DESIGN

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### GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

### DRAWING NOTES

A 01.02.24 Issue for Concept DA  
ISS DATE PURPOSE OF ISSUE

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17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
CHATSWOOD PH

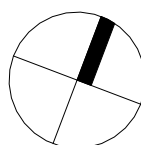
691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO. ISSUE  
**CDA-126 A**

JOB NO. SCALE DATE  
DPG2309 1 : 100@ A1 01.02.24

DRAWING TITLE  
ROOF PLAN

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LA VS






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200 @ A3                      0                      2000                      5000  
100 @ A1                      

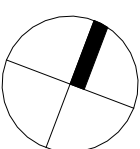
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1 **LIFT ROOF PLAN**  
1 : 100 @ A1

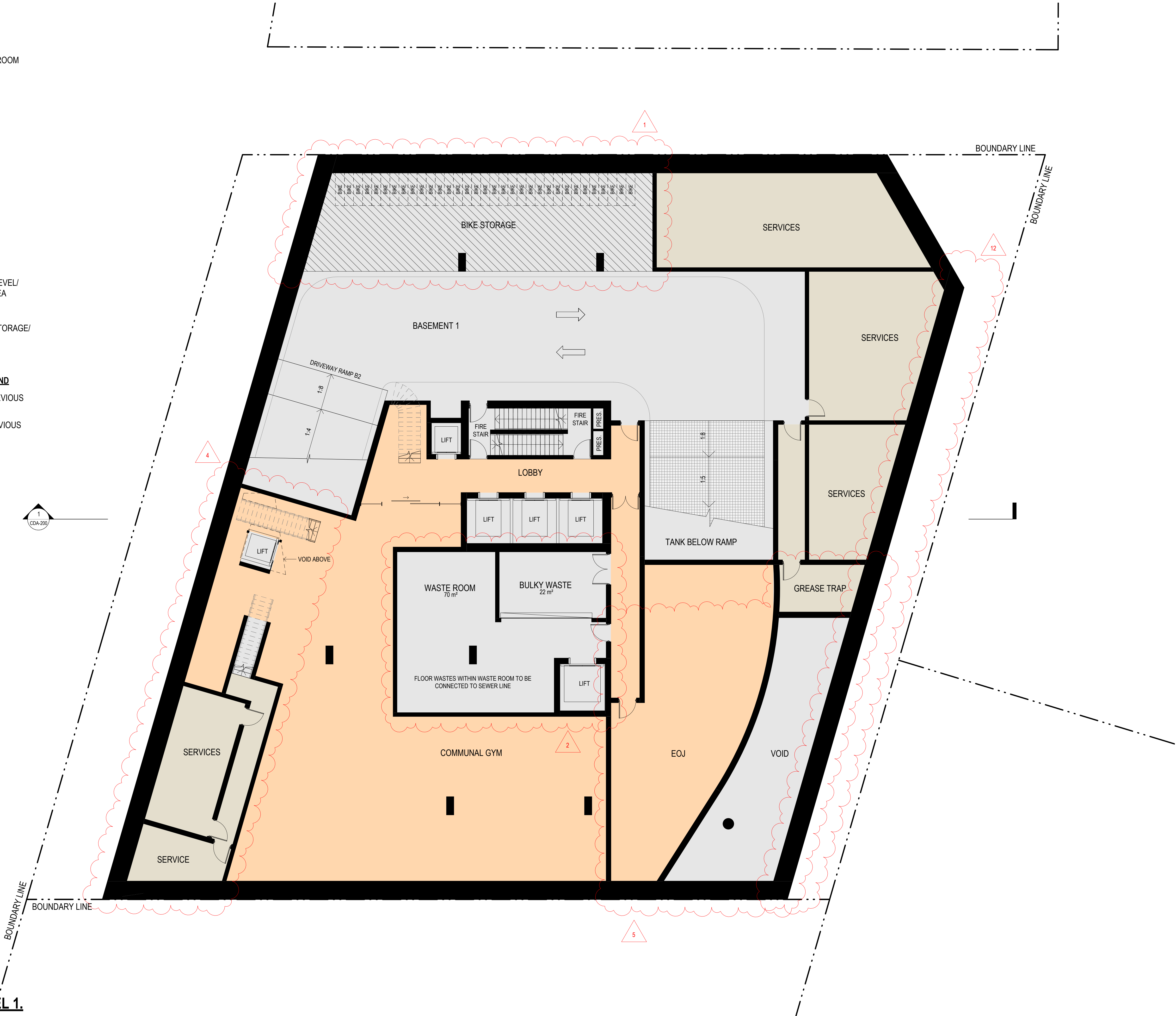


COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA



1 BASEMENT LEVEL 1.  
1:100 @ A1

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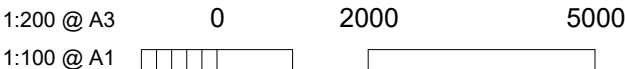


STATUS

CONCEPT DESIGN

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GRAPHIC SCALE



DRAWING NOTES

B	29.04.24	Revised Concept DA
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P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
ISS	DATE	PURPOSE OF ISSUE

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PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

CDA-130

JOB NO.

DPG2309

DRAWING TITLE

BASEMENT 1 FLOOR PLAN

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ISSUE

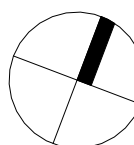
B

SCALE

1:100@A1

DATE

29.04.24



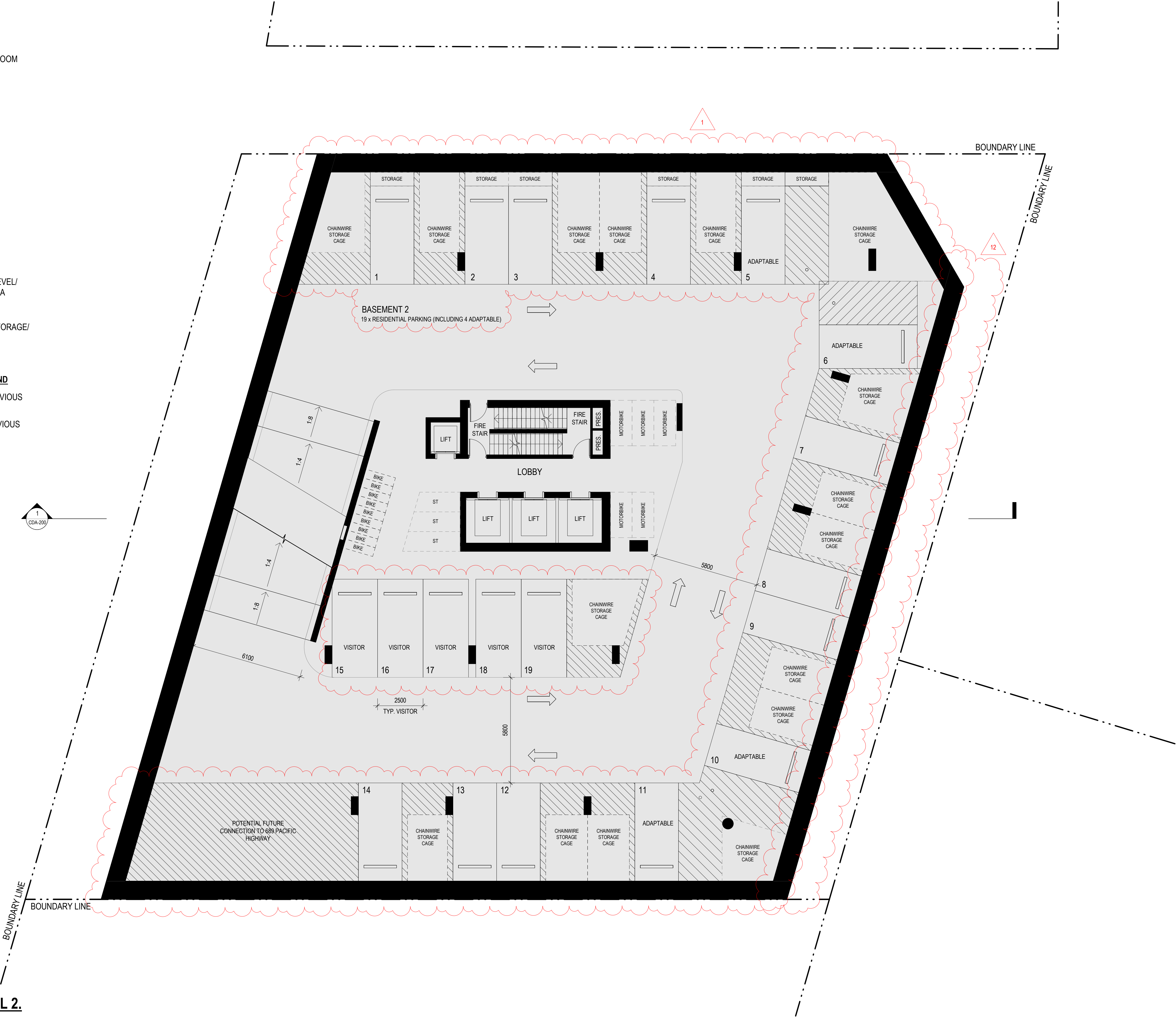


COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA



1 BASEMENT LEVEL 2.  
1 : 100 @ A1

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STATUS

CONCEPT DESIGN

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GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
ISS	DATE	PURPOSE OF ISSUE

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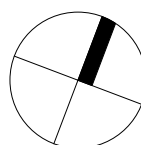
691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO. ISSUE  
**CDA-131 B**

JOB NO. SCALE DATE  
DPG2309 1 : 100@ A1 29.04.24

DRAWING TITLE  
BASEMENT 2 FLOOR PLAN

DRAWN BY CHECKED BY  
LA VS



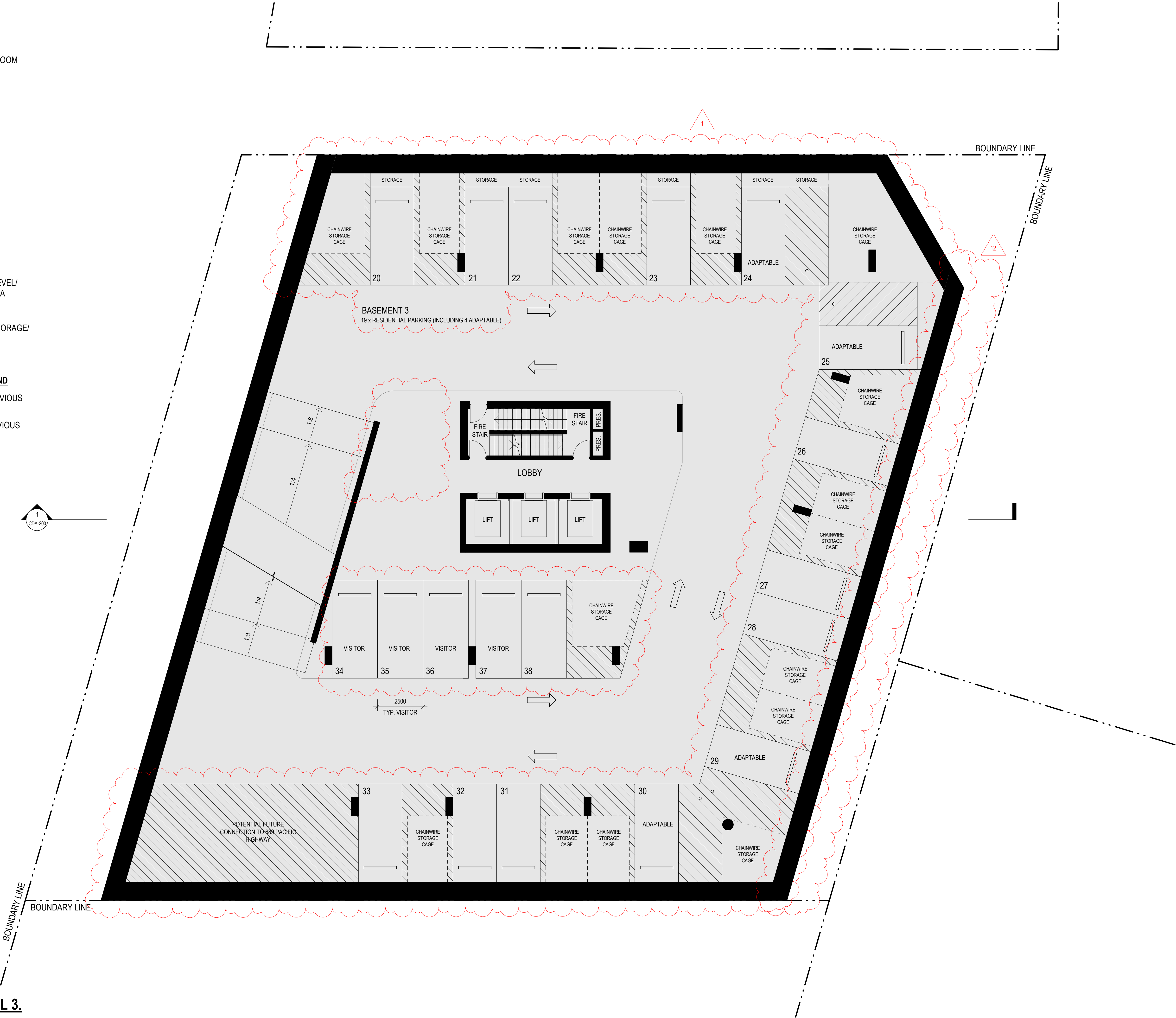


COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA



1 BASEMENT LEVEL 3.  
1 : 100 @ A1

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GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

DRAWING NOTES

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PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

CDA-132

JOB NO.

DPG2309

SCALE

1 : 100@ A1

DATE

29.04.24

DRAWING TITLE

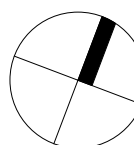
BASEMENT 3 FLOOR PLAN

DRAWN BY

LA

CHECKED BY

VS



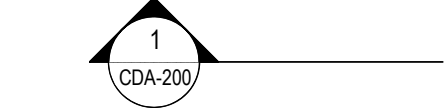


COLOUR LEGEND

- COMMUNAL ROOM
- 1 BEDROOM  
MIN. 50 sqm
- 2 BEDROOM  
MIN. 70 sqm
- 3 BEDROOM  
MIN. 90 sqm
- 4 BEDROOM  
MIN. 110 sqm
- BASEMENT LEVEL/  
LOADING AREA
- SERVICES/ STORAGE/  
PLANT ROOM

PREVIOUS CONCEPT DA LEGEND

- LINE OF EXTERNAL PREVIOUS  
CONCEPT DA
- LINE OF INTERNAL PREVIOUS  
CONCEPT DA



1  
1 : 100 @ A1

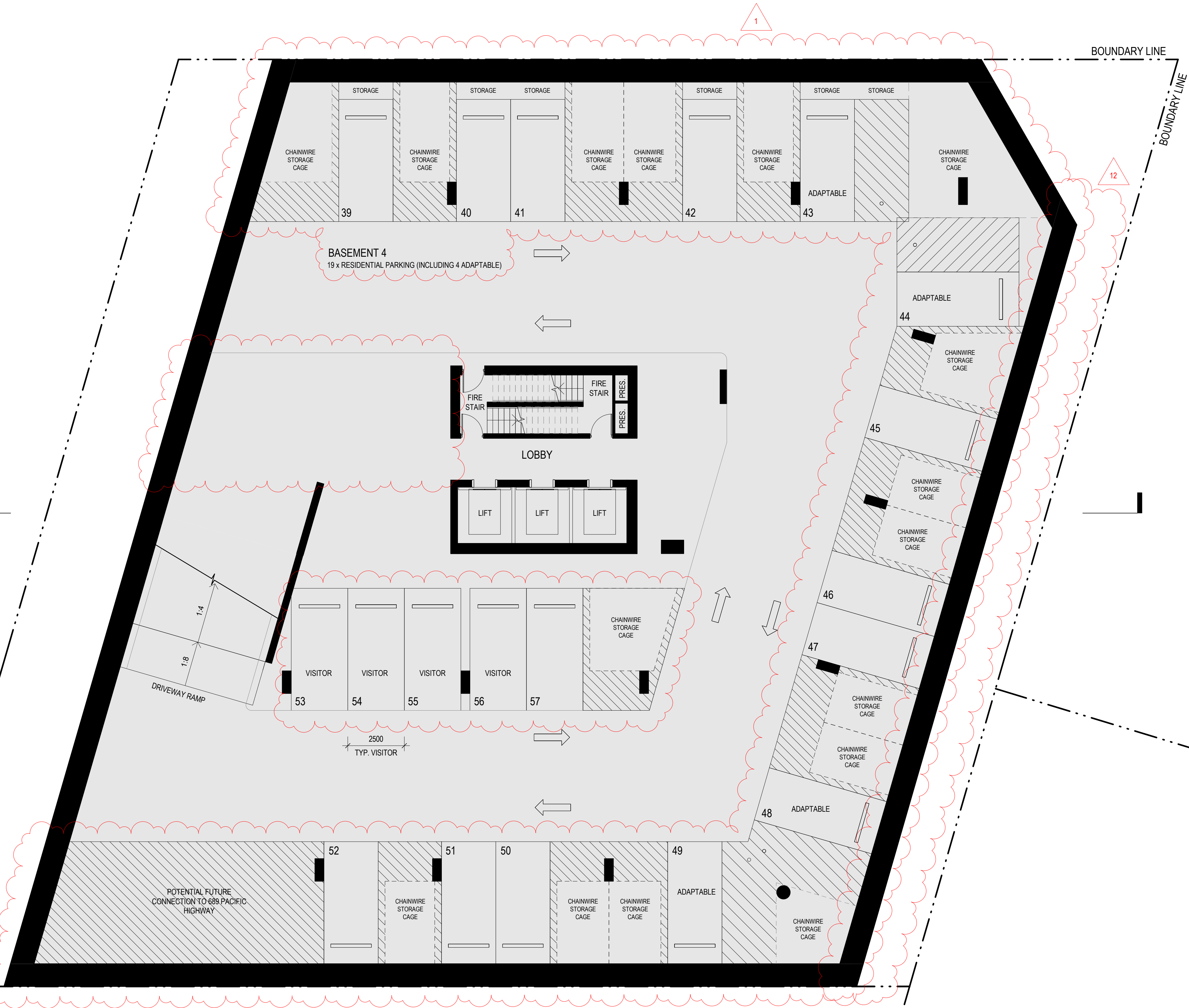
BASEMENT LEVEL 4.

BOUNDARY LINE

BOUNDARY LINE

BOUNDARY LINE

BOUNDARY LINE



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STATUS

CONCEPT DESIGN

Do not scale drawings. Verify all dimensions on site. This drawing is NOT SUITABLE for construction.

GRAPHIC SCALE

1:200 @ A3 0 2000 5000  
1:100 @ A1

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
ISS	DATE	PURPOSE OF ISSUE

CLIENT

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ABN: 24 132 554 753

**NOMINATED ARCHITECT**  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

**PROJECT**  
CHATSWOOD PH

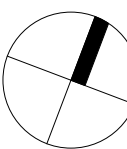
691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO. ISSUE  
**CDA-133 B**

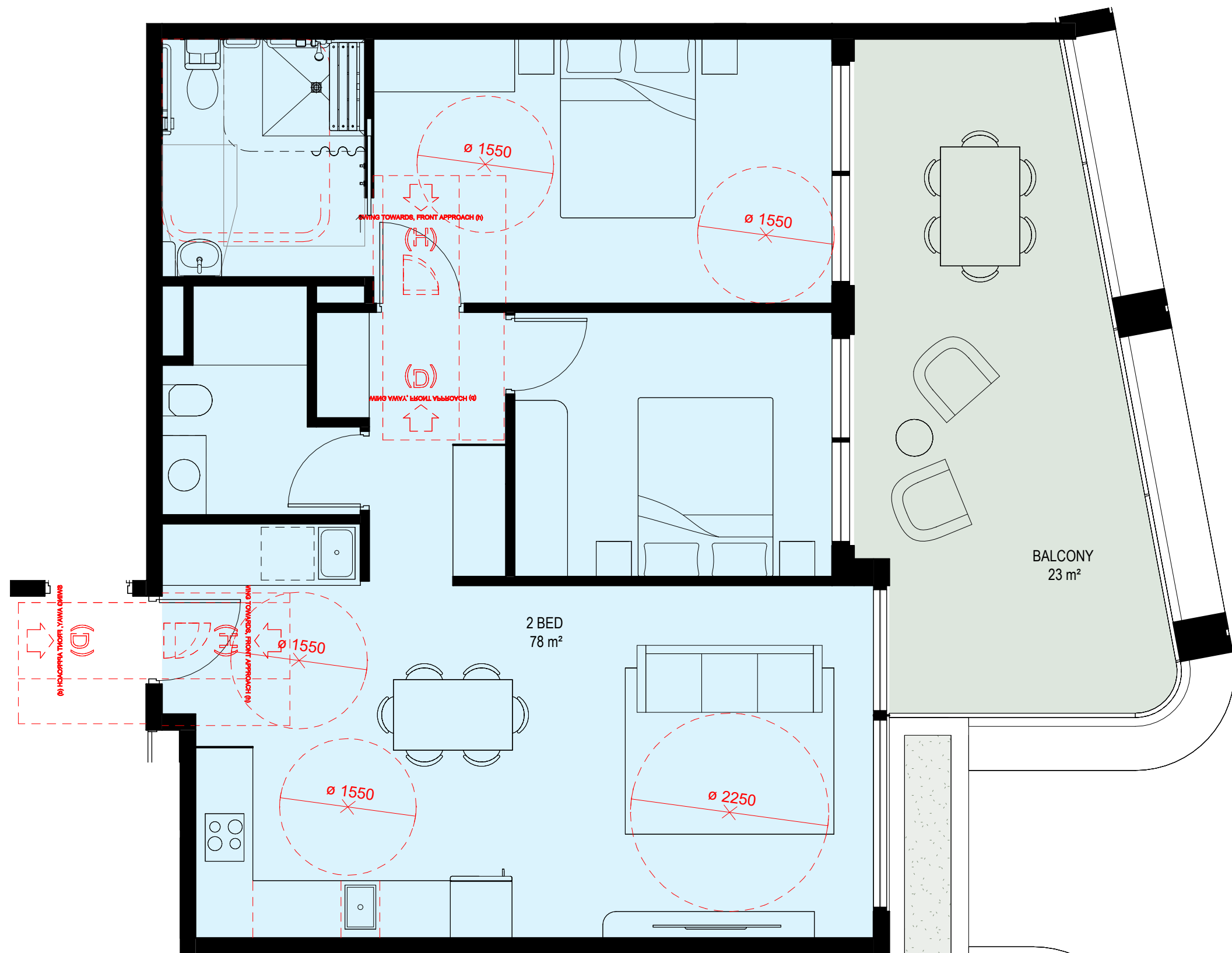
JOB NO. SCALE DATE  
DPG2309 1 : 100@ A1 29.04.24

DRAWING TITLE  
BASEMENT 4 FLOOR PLAN

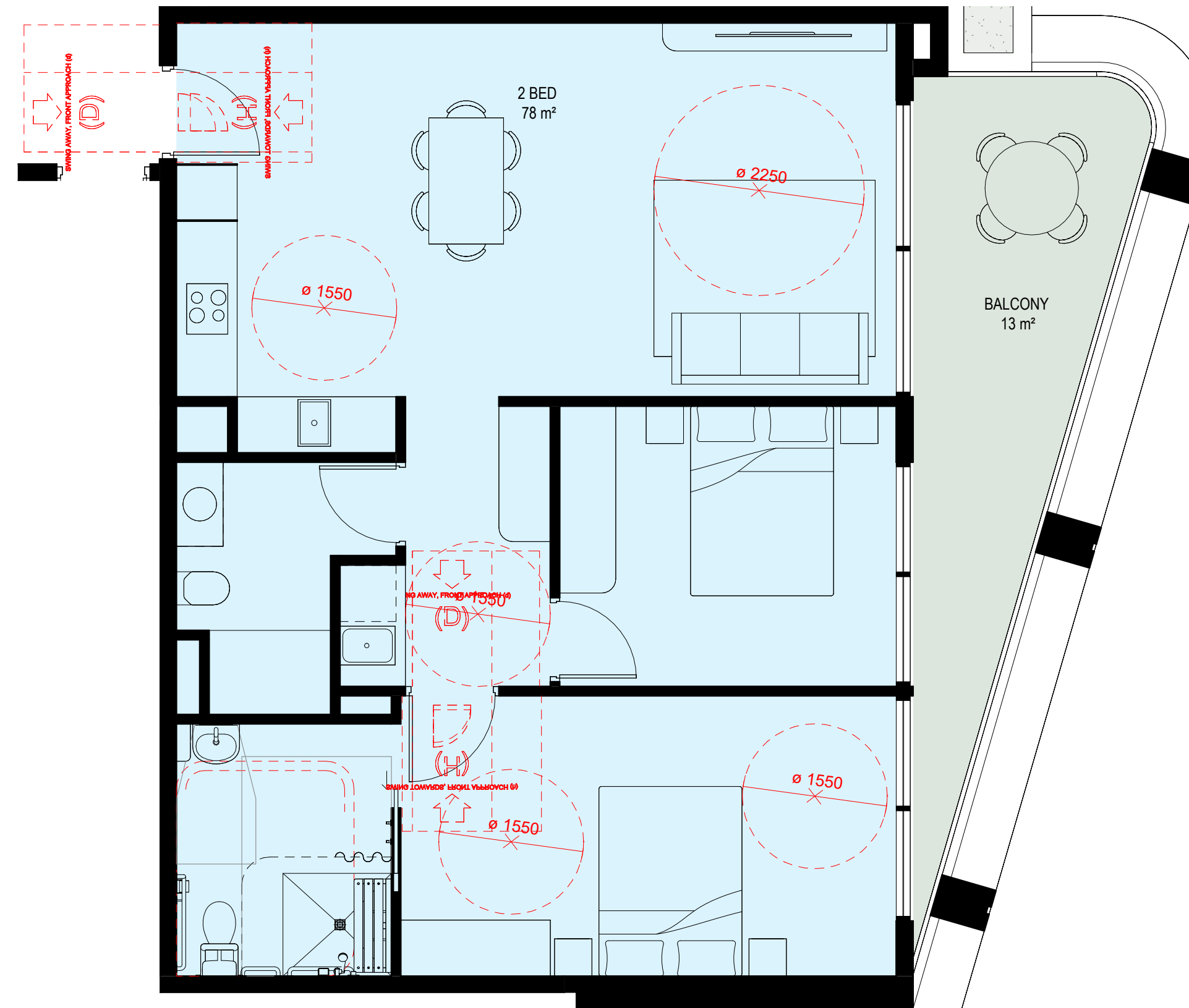
DRAWN BY CHECKED BY  
LA VS



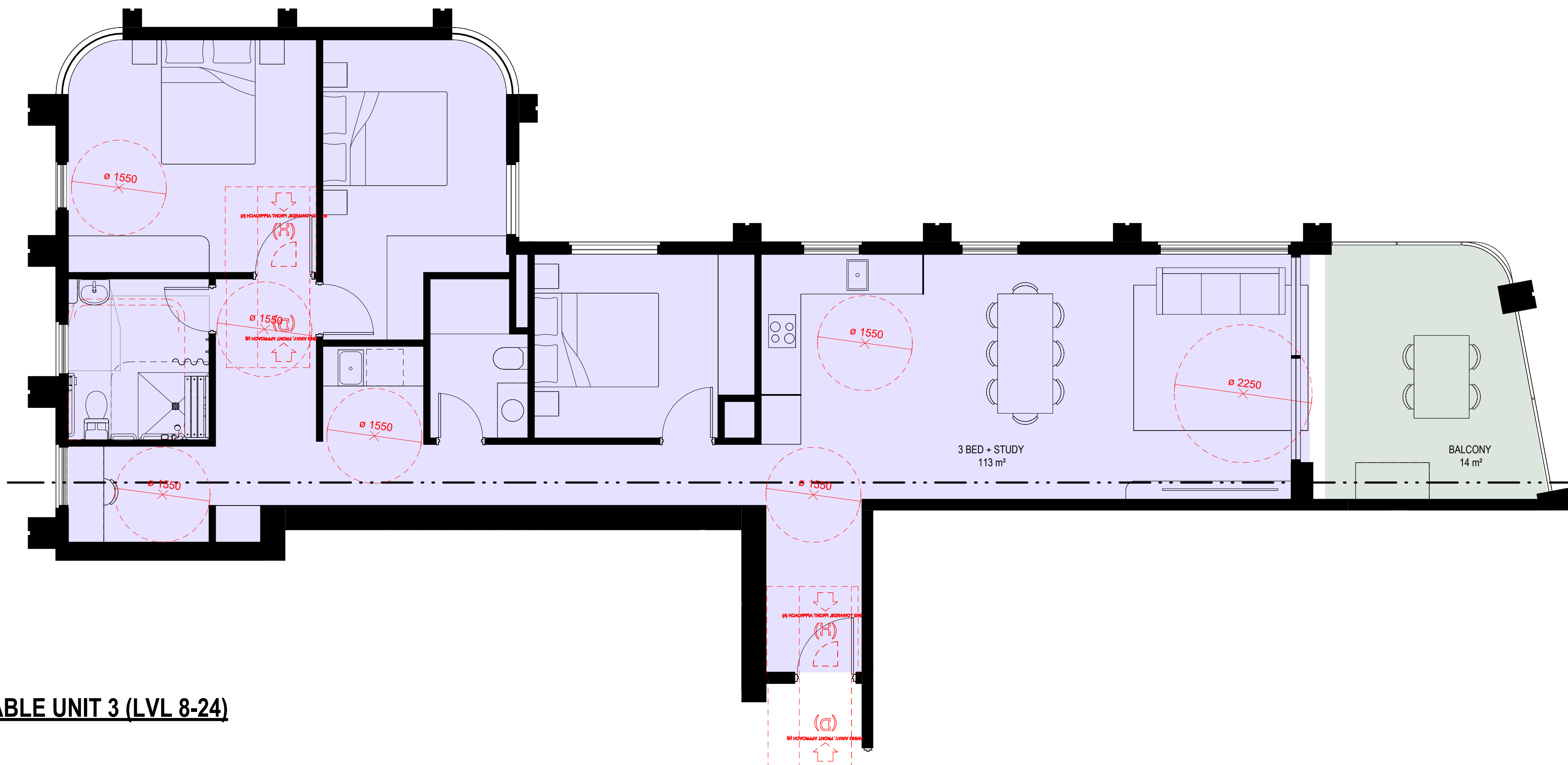




1 **ADAPTABLE UNIT 1 (LVL 3-7)**  
1:50 @ A1



2 **ADAPTABLE UNIT 2 (LVL 3-7)**  
1:50 @ A1



3 **ADAPTABLE UNIT 3 (LVL 8-24)**  
1:50 @ A1

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STATUS

## CONCEPT DESIGN

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GRAPHIC SCALE

1:100 @ A3 0 1000 2000  
1:50 @ A1

DRAWING NOTES

ISS	DATE	PURPOSE OF ISSUE
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants

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**PROJECT**  
CHATSWOOD PH

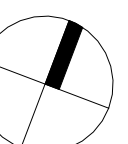
691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO. **CDA-150** ISSUE **A**

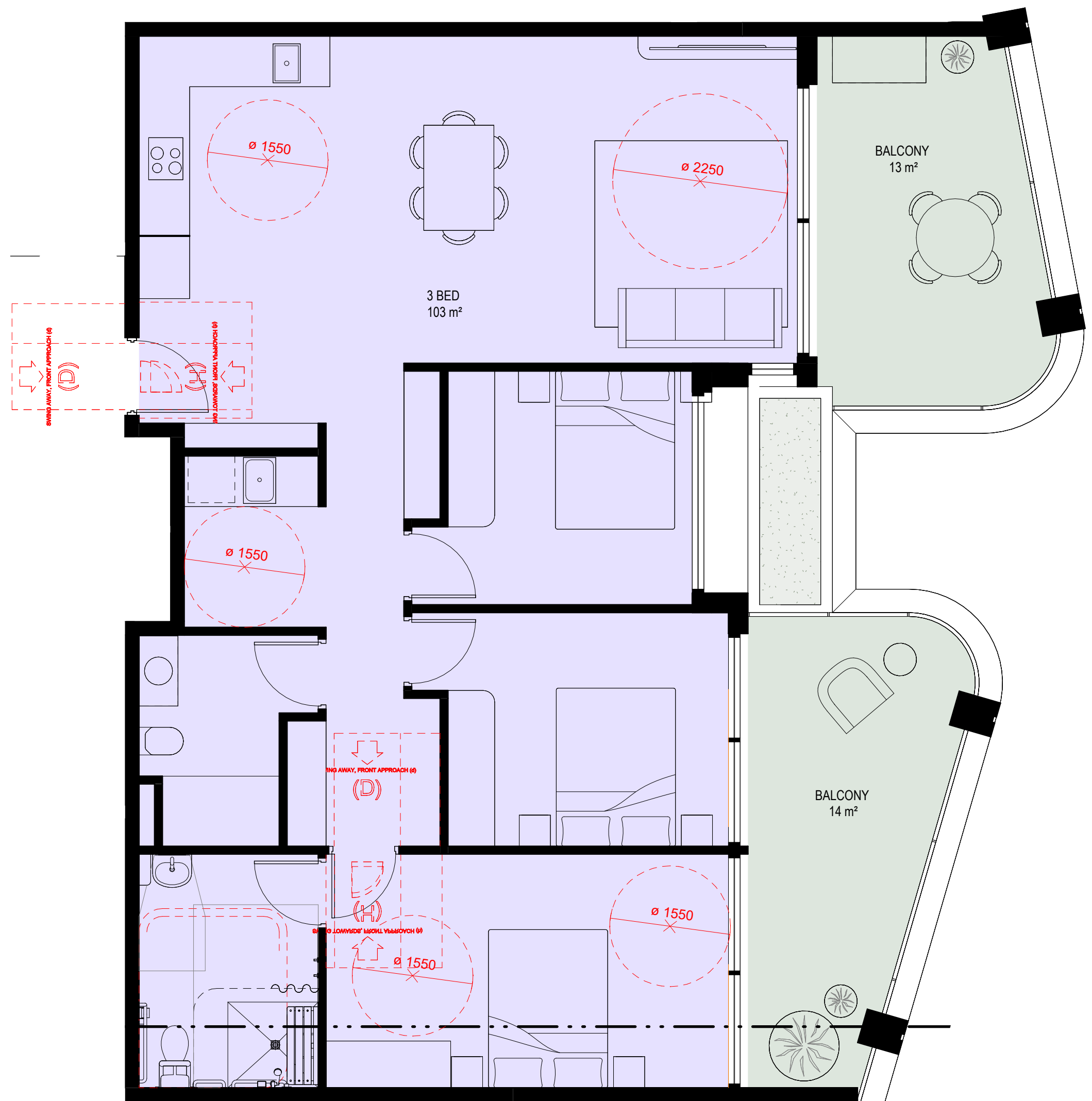
JOB NO. DPG2309 SCALE 1:50 @ A1 DATE 01.02.24

DRAWING TITLE  
ADAPTABLE LAYOUTS - TYPICAL UNIT PLANS

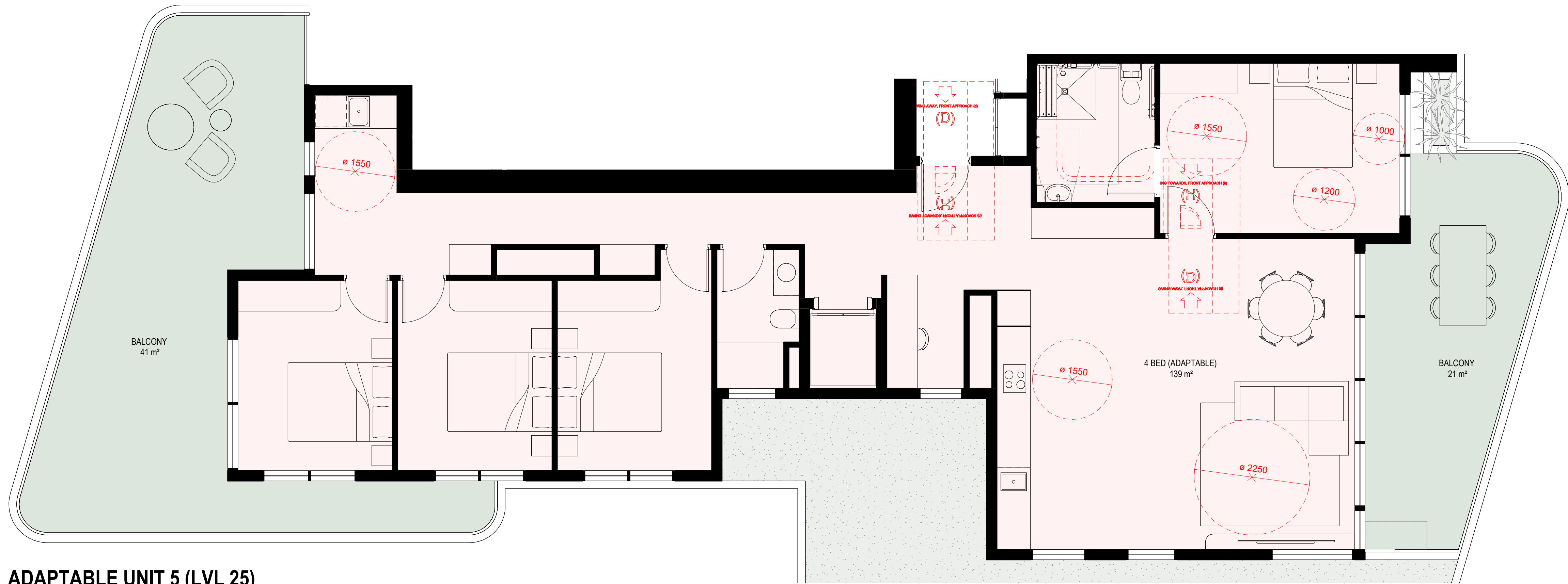
DRAWN BY LA CHECKED BY VS







1 **ADAPTABLE UNIT 4 (LVL 8-24)**  
1 : 50 @ A1



2 **ADAPTABLE UNIT 5 (LVL 25)**  
1 : 50 @ A1

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STATUS

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### GRAPHIC SCALE

1:100 @ A3 0 1000 2000  
1:50 @ A1

### DRAWING NOTES

ISS	DATE	PURPOSE OF ISSUE
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants

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### PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

### DRAWING NO.

**CDA-151**

### ISSUE

**A**

### JOB NO.

DPG2309

### SCALE

1 : 50 @ A1

### DATE

01.02.24

### DRAWING TITLE

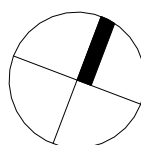
ADAPTABLE HOUSING - TYPICAL UNIT  
PLANS

### DRAWN BY

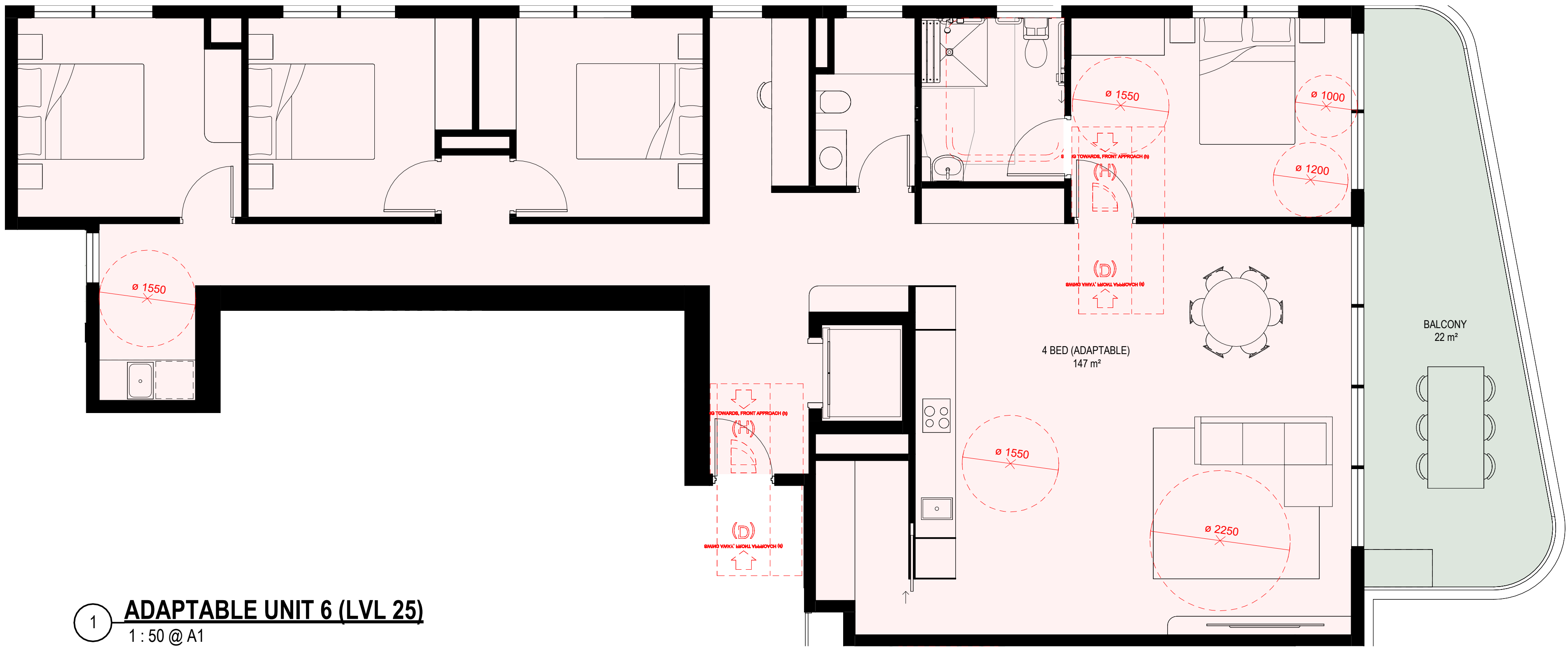
LA

### CHECKED BY

VS







1 **ADAPTABLE UNIT 6 (LVL 25)**  
1 : 50 @ A1

**NOTE:**

ADAPTABLE UNITS TO AS 1428.1.

ALL PLUMBING FOR ADAPTABLE UNITS TO BE ALLOWED FOR DURING CONSTRUCTION & CAPPED OFF & SEALED FOR FUTURE USE.

**POST ADAPTATION UNIT LAYOUT TO INCLUDE:**

**ACCESSIBLE ENTRY**

- ACCESSIBLE ENTRY DOOR TO HAVE 850mm MIN CLEARANCE
- DOOR LEVER HANDLES AND HARDWARE TO AS1428.1
- INTERNAL DOORS TO HAVE 820mm MIN CLEARANCE

**LIVING ROOM**

- PROVISION FOR CIRCULATION SPACE OF MIN 2250mm DIAMETER
- TELEPHONE ADJACENT TO GPO
- POTENTIAL ILLUMINATION LEVEL MIN 3000 LUX

**KITCHEN**

- PROVISION FOR BENCHES PLANNED TO INCLUDE AT LEAST ONE WORK SURFACE OF 800mm, ADJUSTABLE IN HEIGHT FROM 750mm TO 850mm OR REPLACEABLE
- REFRIGERATOR ADJACENT TO WORK SURFACE
- KITCHEN SINK ADJUSTABLE HEIGHTS FROM 750mm TO 850mm OR REPLACEABLE
- KITCHEN SINK BOWL MAX 150mm DEEP
- TAP SET CAPSTAN OR LEVER HANDLES OR LEVER MIXER
- TAP SET LOCATED WITHIN 300mm OF FRONT SINK
- COOKTOPS TO EITHER INCLUDE FRONT OR SIDE CONTROLS WITH RAISED CROSS BARS
- COOKTOPS TO INCLUDE ISOLATING SWITCH
- WORK SURFACE MIN 800mm LENGTH ADJACENT TO COOKTOP AT SAME HEIGHT
- OVEN LOCATED ADJACENT TO AN ADJUSTABLE HEIGHT OR REPLACEABLE WORK SURFACE
- GPO'S TO COMPLY WITH AS 1428.1 AT LEAST ONE DOUBLE GPO WITHIN 300mm OF FRONT WORK SURFACE
- GPO FOR REFRIGERATOR TO BE EASILY REACHABLE WHEN THE REFRIGERATOR IS IN OPERATING POSITION
- SLIP RESISTANT FLOOR SURFACE

**BEDROOM**

- AT LEAST ONE BEDROOM OF AREA SUFFICIENT TO ACCOMMODATE QUEEN SIZE BED AND WARDROBE AND CIRCULATION SPACE REQUIREMENTS OF AS 1428.2
- BATHROOM**

**BATHROOM**

- PROVISION FOR BATHROOM AREA TO COMPLY WITH AS1428.1
- SLIP RESISTANT FLOOR SURFACE
- SHOWER RECESS - NO HOB. MINIMUM SIZE 1160x1100 TO COMPLY WITH AS 1428.1
- SHOWER AREA WATERPROOFED TO A3740 WITH FLOOR TO FALL TO WASTE
- RECESSED SOAP HOLDER
- SHOWER TAPS POSITIONED FOR EASY REACH TO ACCESS SIDE OF SHOWER SLIDING TRACK

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GRAPHIC SCALE

1:100 @ A3 0 1000 2000  
1:50 @ A1

DRAWING NOTES

ISS	DATE	PURPOSE OF ISSUE
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants

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NOMINATED ARCHITECT

Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

CDA-152

ISSUE

A

JOB NO.

DPG2309

SCALE

1 : 50@ A1

DATE

01.02.24

DRAWING TITLE

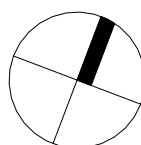
ADAPTABLE HOUSING - TYPICAL UNIT  
PLANS

DRAWN BY

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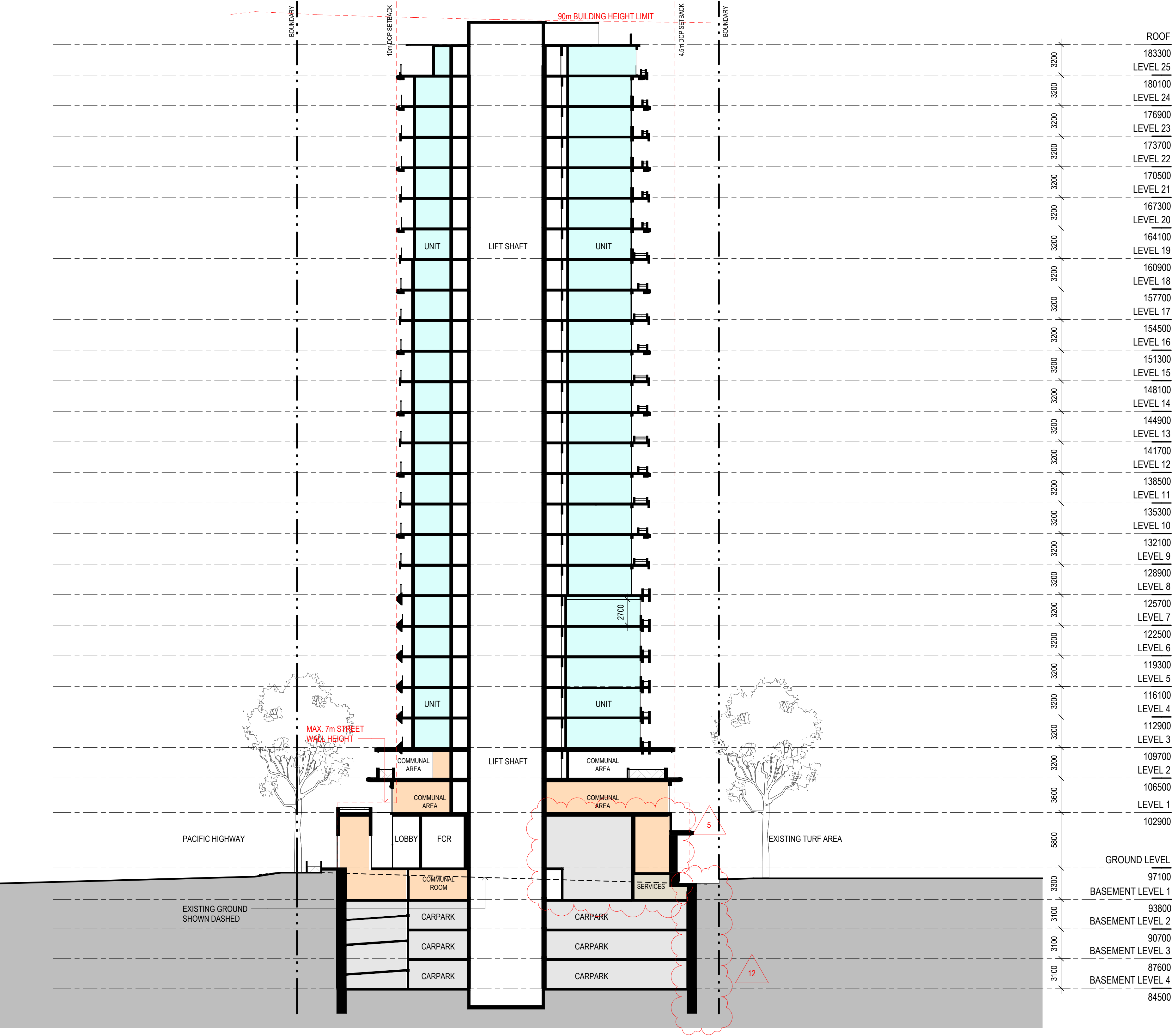
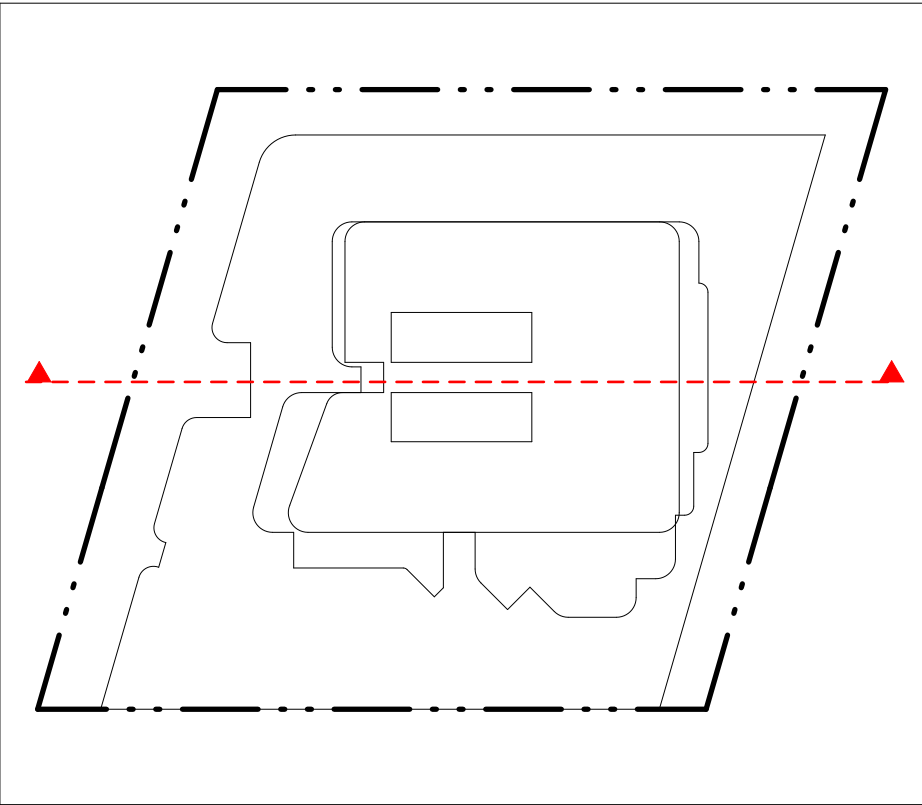
CHECKED BY

VS





KEYPLAN



STATUS

CONCEPT DESIGN

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GRAPHIC SCALE



DRAWING NOTES

LEGEND

--- LINE OF EXTERNAL PREVIOUS CONCEPT DA

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
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P1	15.01.24	Issue for Consultants
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17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

DPG2309

ISSUE

CDA-200 B

JOB NO.

DPG2309

SCALE

1 : 250@A1

DATE

29.04.24

DRAWING TITLE

SECTION

DRAWN BY

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STATUS

### CONCEPT DESIGN

Do not scale drawings. Verify all dimensions on site.  
This drawing is NOT SUITABLE for construction.

#### GRAPHIC SCALE

1:100 @ A3 0 1000 2000  
1:50 @ A1

#### DRAWING NOTES

A 29.04.24 Revised Concept DA  
ISS DATE PURPOSE OF ISSUE

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#### PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

#### DRAWING NO.

CDA-210

#### ISSUE

A

#### JOB NO.

DPG2309

#### SCALE

1 : 50@ A1

#### DATE

29.04.24

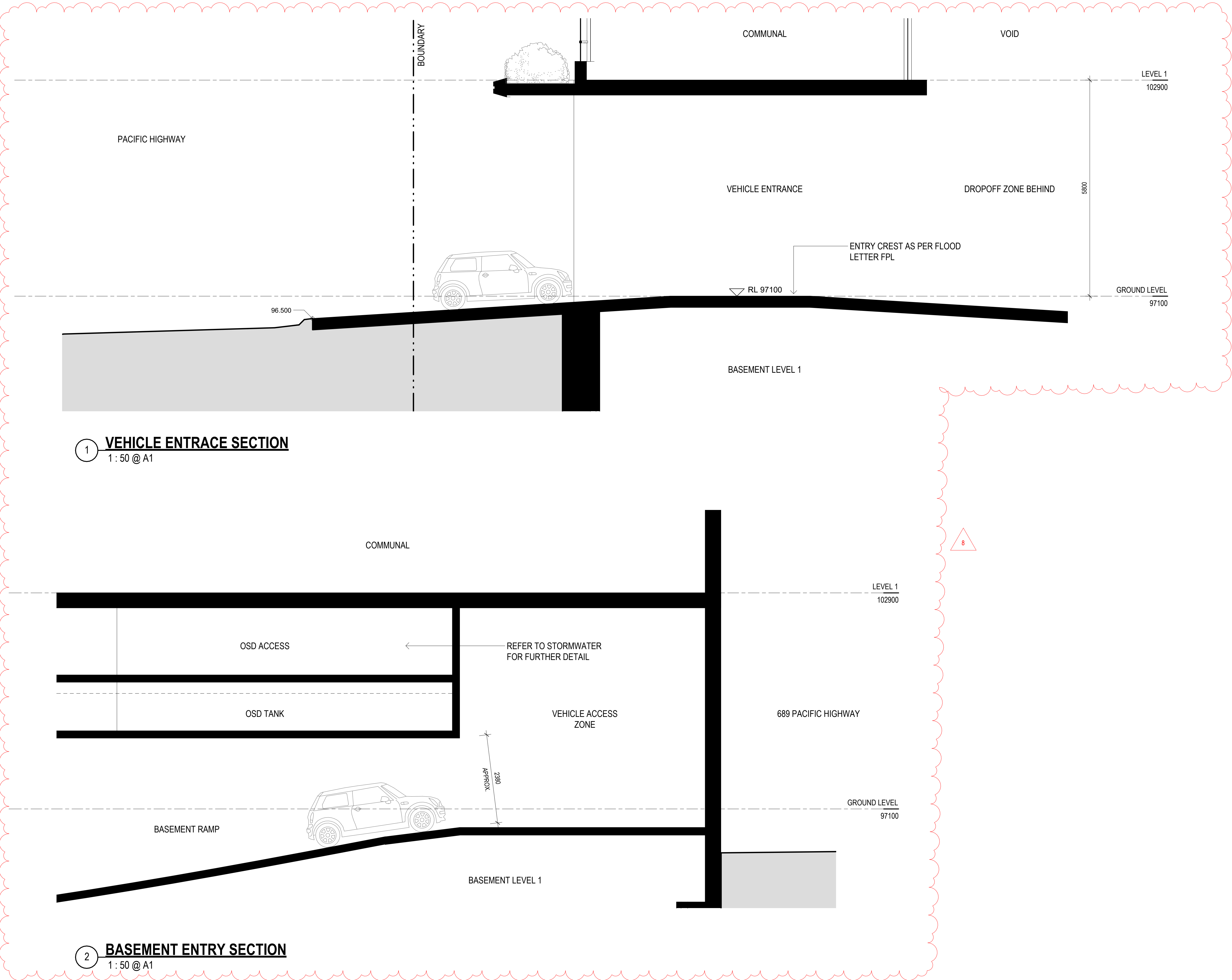
DRAWING TITLE  
SECTION THROUGH VEHICLE  
ENTRANCE

#### DRAWN BY

LA

#### CHECKED BY

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STATUS

## CONCEPT DESIGN

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### GRAPHIC SCALE

1:500 @ A3 0 5m 10m  
1:250 @ A1

### DRAWING NOTES

### LEGEND

--- LINE OF EXTERNAL PREVIOUS CONCEPT DA

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
P1	15.01.24	Issue for Consultants
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17219 (VIC), 3677 (QLD), AR1173 (NT)

### PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

### DRAWING NO.

CDA-300 B

### JOB NO.

DPG2309

### SCALE

1 : 250@A1

### DATE

29.04.24

### DRAWING TITLE

WEST ELEVATION

### DRAWN BY

LA

### CHECKED BY

VS

1

## WEST ELEVATION

1 : 250 @ A1





STATUS

CONCEPT DESIGN

Do not scale drawings. Verify all dimensions on site. This drawing is NOT SUITABLE for construction.

GRAPHIC SCALE



DRAWING NOTES

LEGEND

--- LINE OF EXTERNAL PREVIOUS CONCEPT DA

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
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ABN: 24 132 554 753

NOMINATED ARCHITECT

Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

CDA-301

ISSUE

B

JOB NO.

DPG2309

SCALE

1 : 250@ A1

DATE

29.04.24

DRAWING TITLE

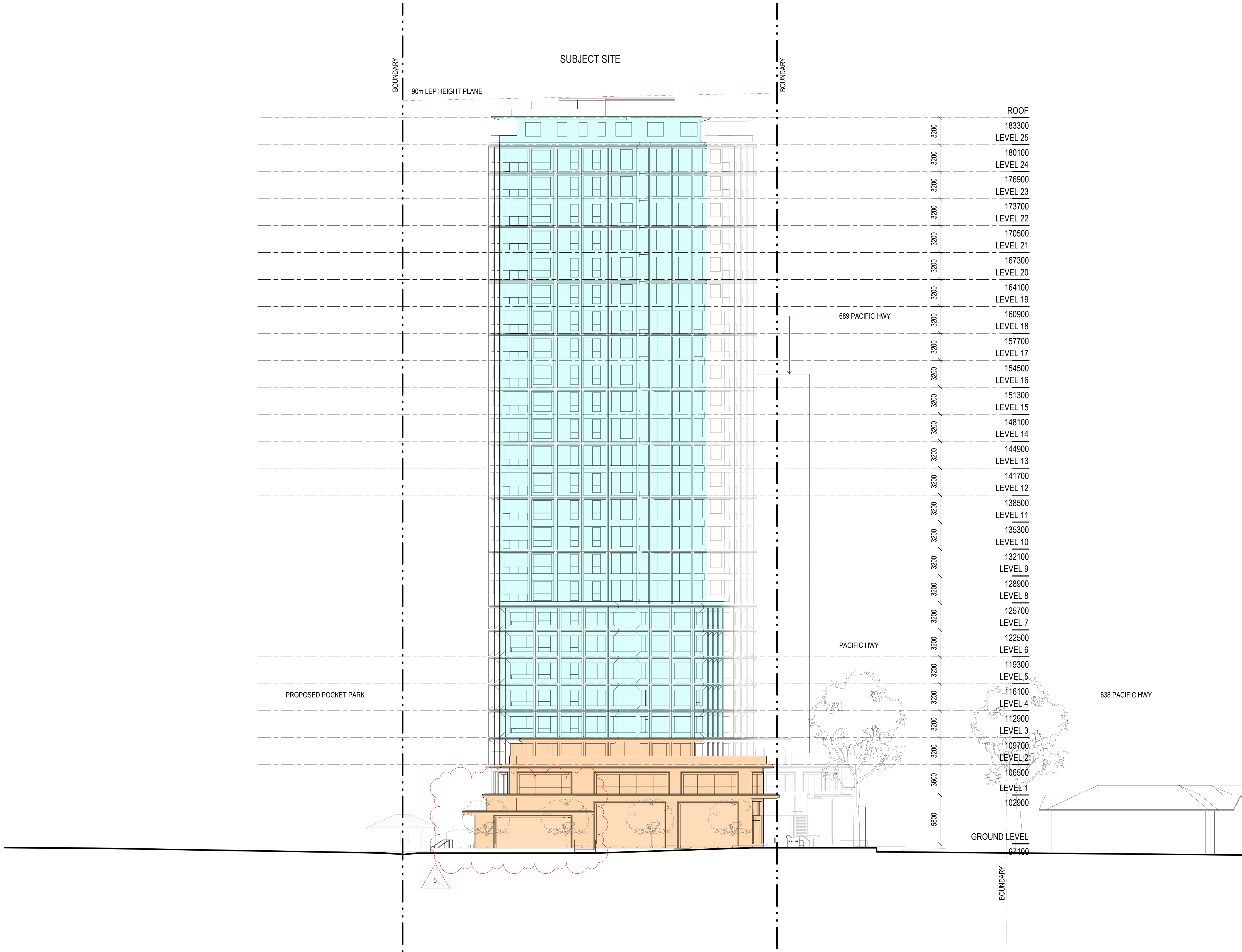
NORTH ELEVATION

DRAWN BY

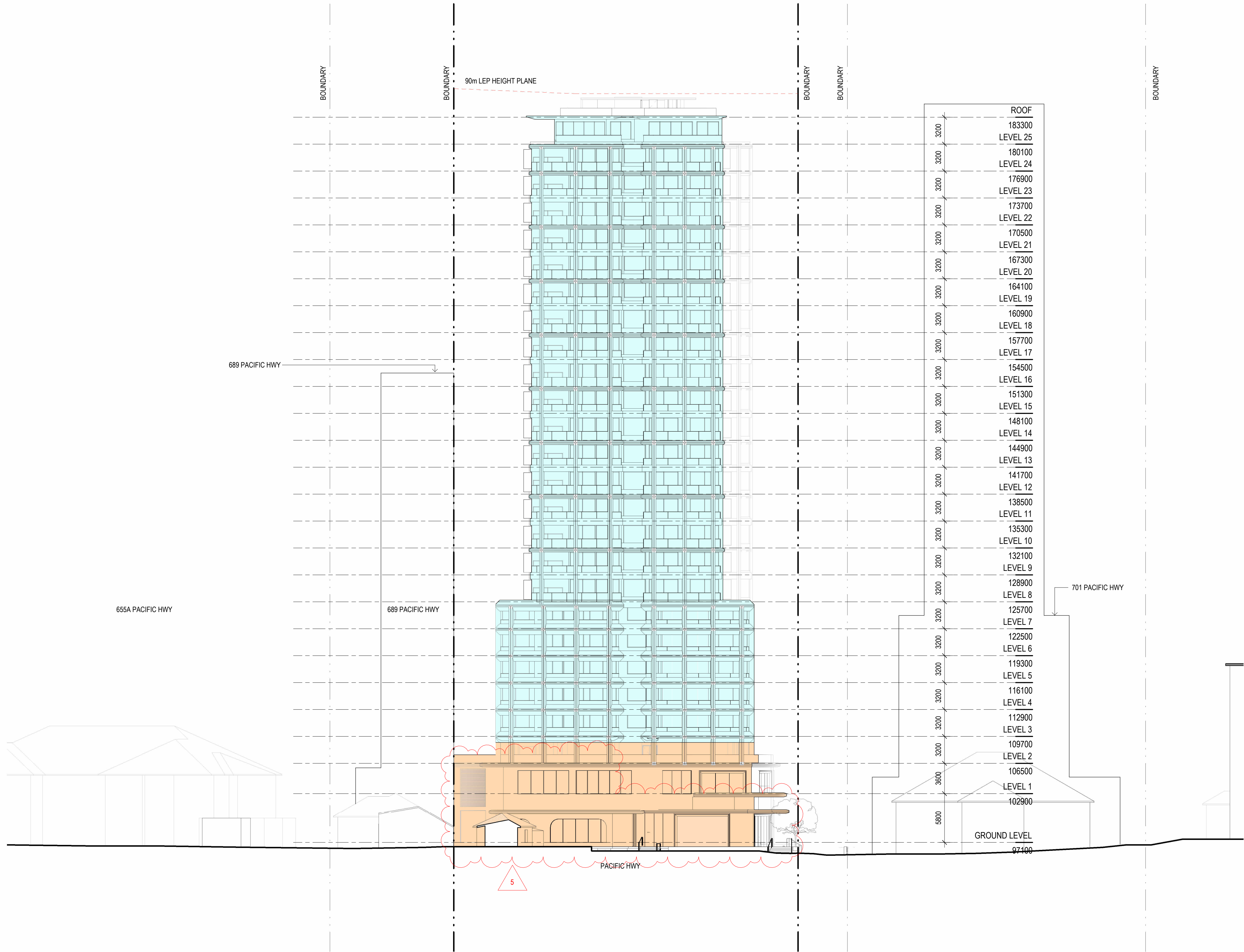
LA

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STATUS

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### GRAPHIC SCALE

1:500 @ A3 0 5m 10m  
1:250 @ A1

### DRAWING NOTES

### LEGEND

--- LINE OF EXTERNAL PREVIOUS CONCEPT DA

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P2	18.01.24	Issue for Consultant
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ISS	DATE	PURPOSE OF ISSUE

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### PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

### DRAWING NO.

CDA-302 B

### JOB NO.

DPG2309

### SCALE

1 : 250@A1

### DATE

29.04.24

### DRAWING TITLE

EAST ELEVATION

### DRAWN BY

LA

### CHECKED BY

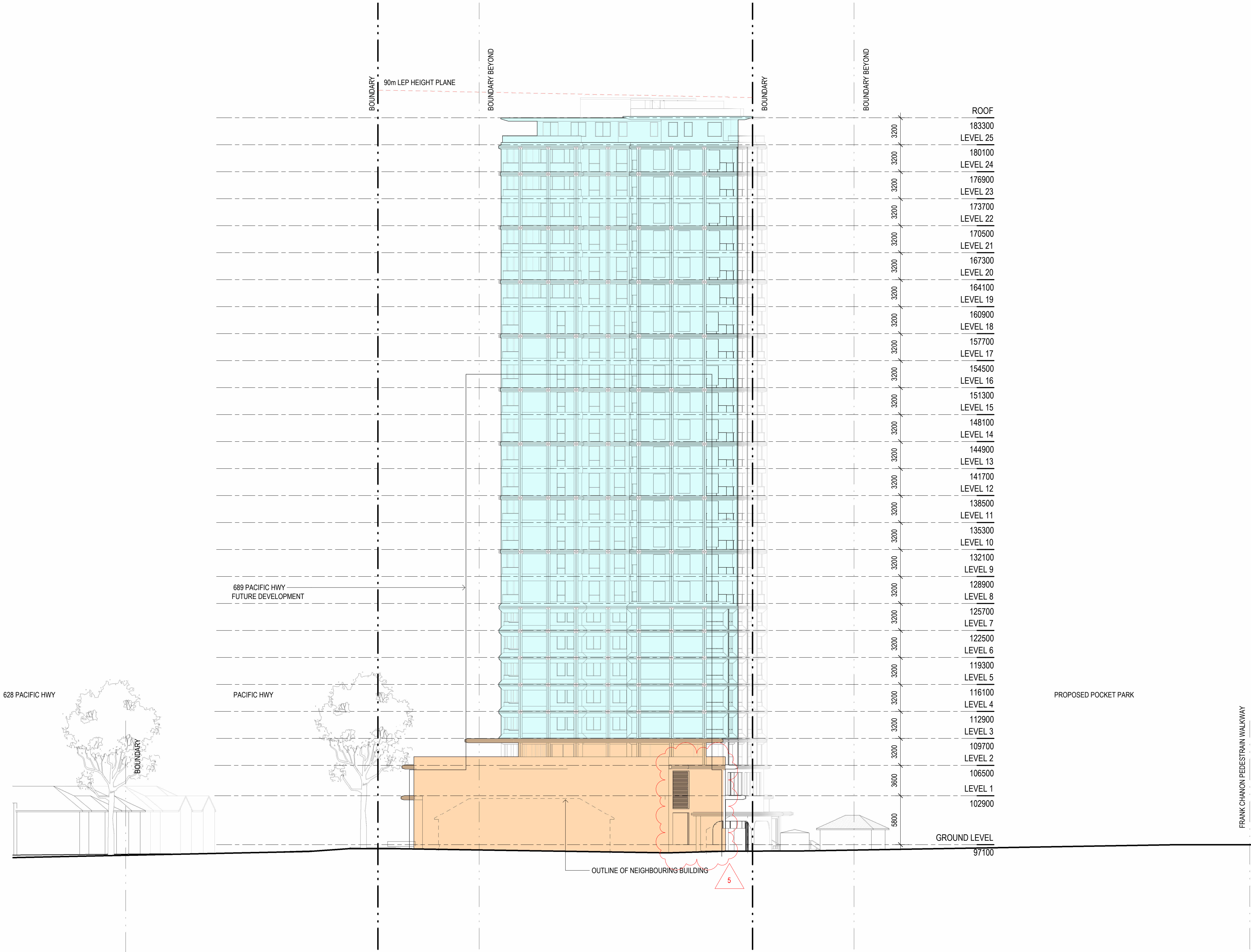
VS

1

## EAST ELEVATION

1 : 250 @ A1





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STATUS

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GRAPHIC SCALE



DRAWING NOTES

LEGEND

--- LINE OF EXTERNAL PREVIOUS CONCEPT DA

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NOMINATED ARCHITECT

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17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

CDA-303

ISSUE

B

JOB NO.

DPG2309

SCALE

1 : 250@ A1

DATE

29.04.24

DRAWING TITLE

SOUTH ELEVATION

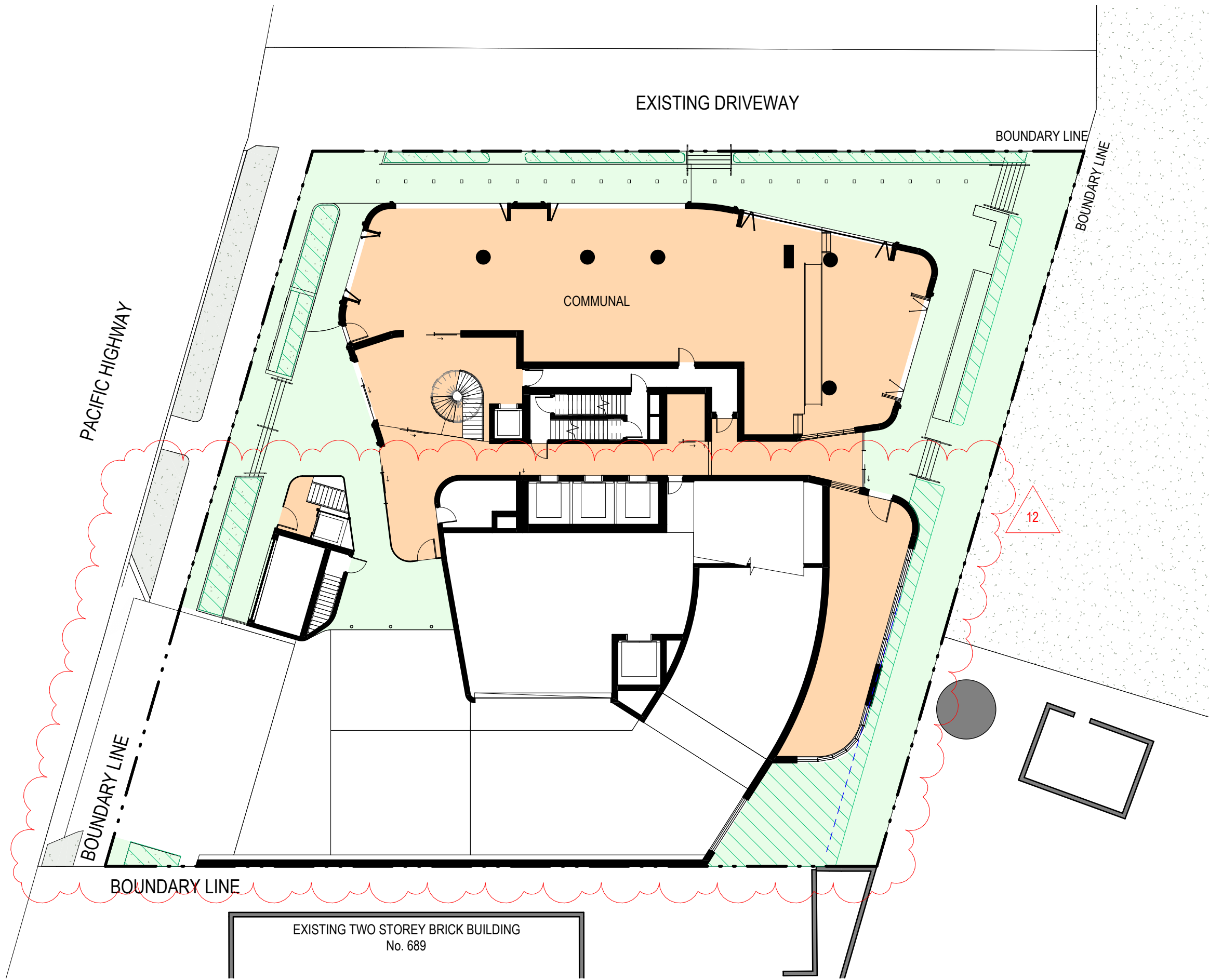
DRAWN BY

LA

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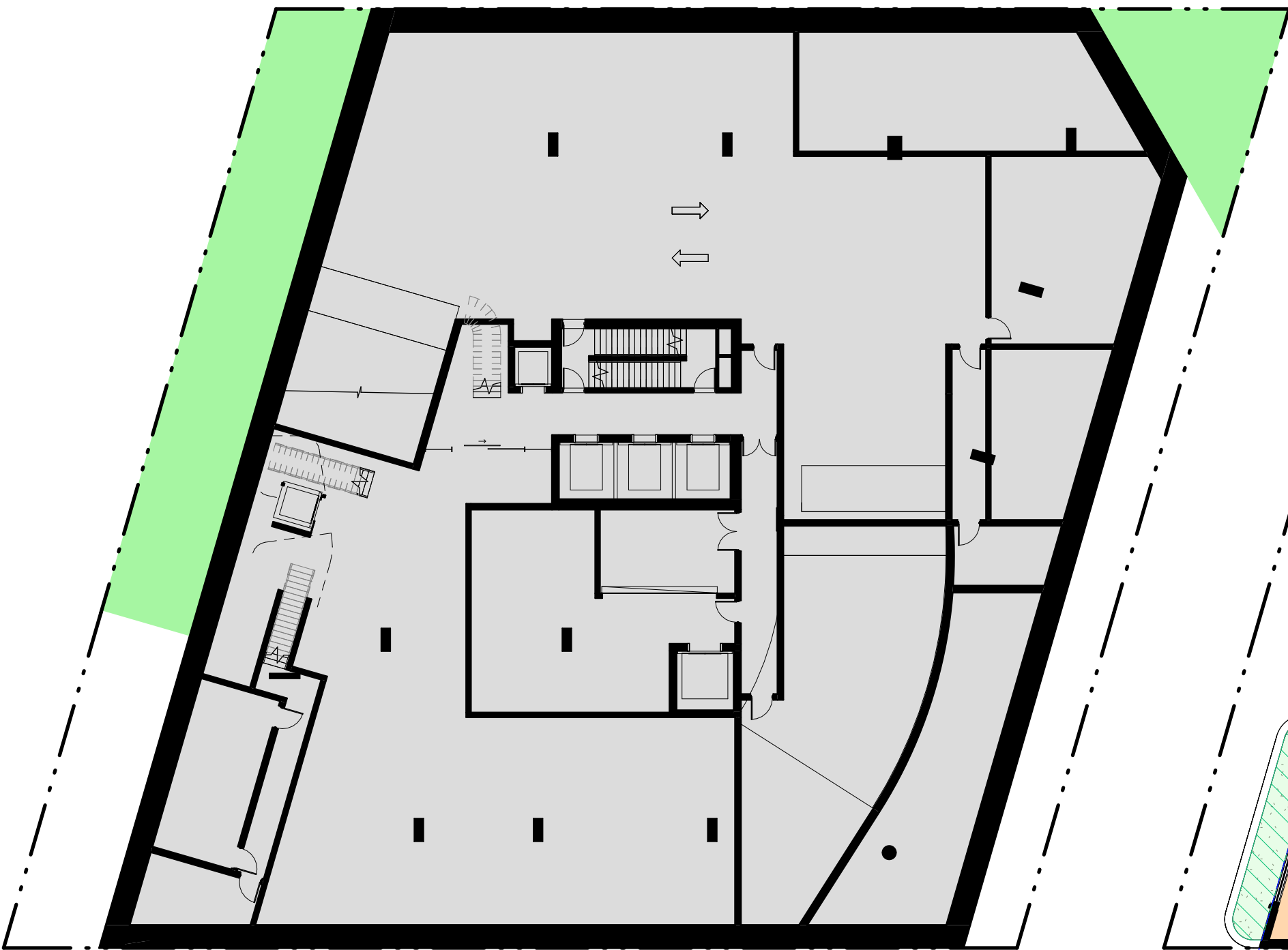


1 LAC - GROUND LEVEL

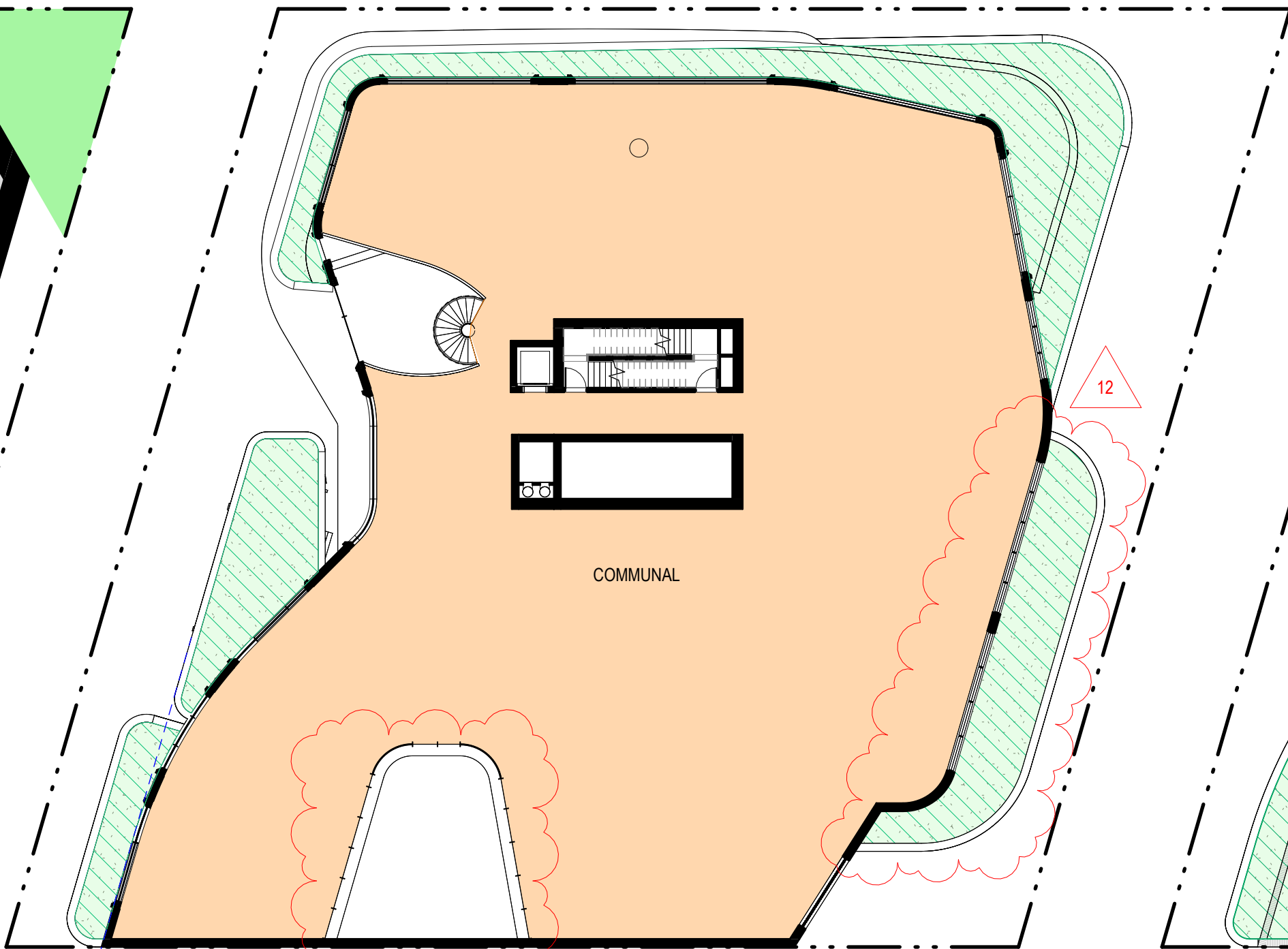
SITE AREA = 1810 m<sup>2</sup>

LEGEND			
	OPEN SPACE	SOFT LANDSCAPE	DEEP SOIL
BASEMENT 1	N/A	N/A	155 m <sup>2</sup>
GROUND	430 m <sup>2</sup>	103 m <sup>2</sup>	N/A
LEVEL 1	204 m <sup>2</sup>	204 m <sup>2</sup>	N/A
LEVEL 2	1013 m <sup>2</sup>	431 m <sup>2</sup>	N/A
TOTAL	1647 m <sup>2</sup>	738 m <sup>2</sup>	155 m <sup>2</sup>
% OF SITE AREA	91%	41%	8.5%

12



4 LAC - BASEMENT LEVEL 1



2 LAC - LEVEL 1



3 LAC - LEVEL 2



STATUS

CONCEPT DESIGN

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GRAPHIC SCALE

NOT TO SCALE

DRAWING NOTES

B	29.04.24	Revised Concept DA
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ISS	DATE	PURPOSE OF ISSUE

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ABN: 24 132 554 753

NOMINATED ARCHITECT

Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

CDA-400 B

ISSUE

JOB NO.

DPG2309

SCALE

N.T.S.

DATE

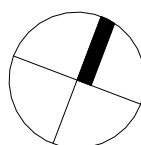
29.04.24

DRAWING TITLE

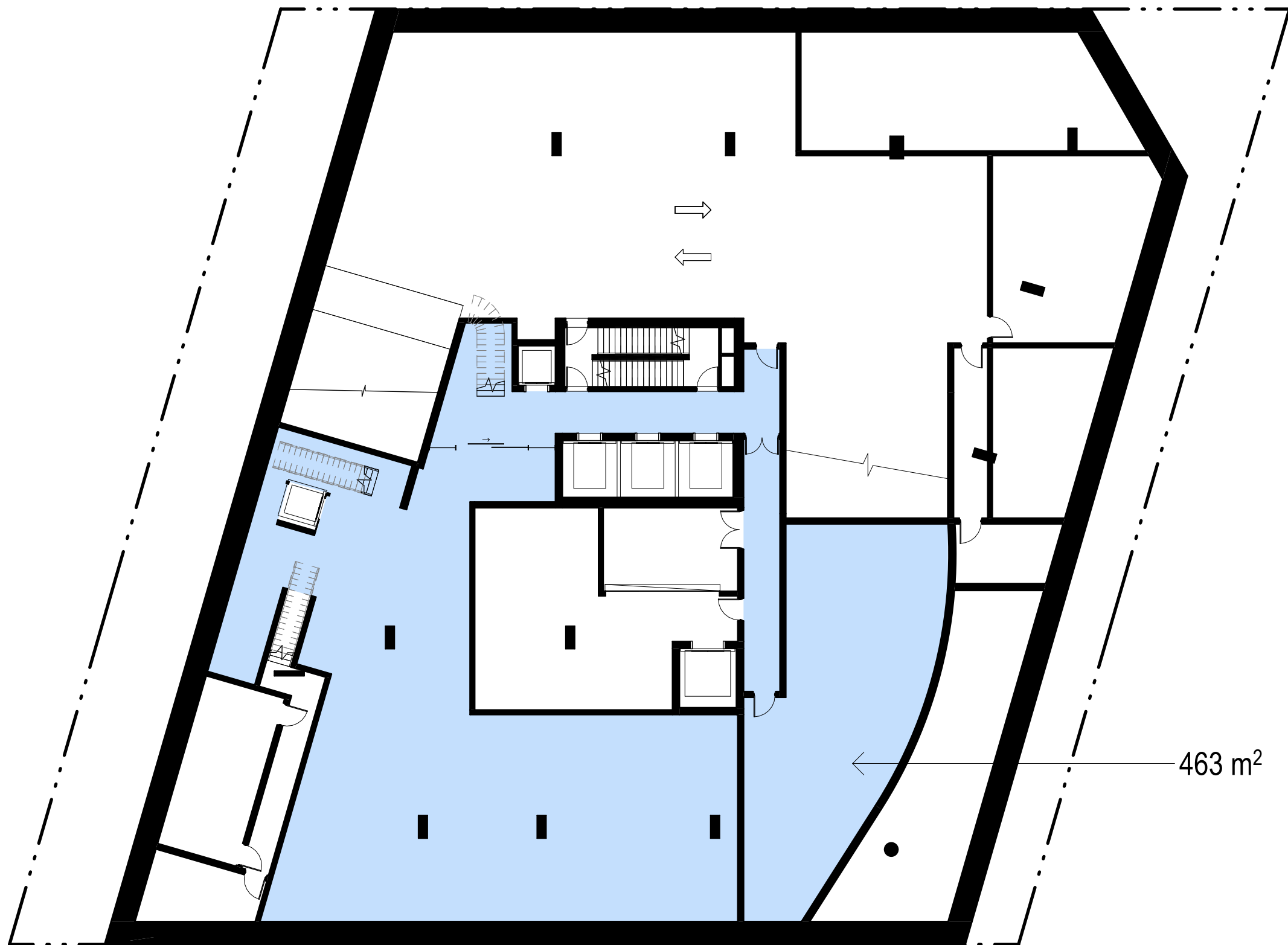
LANDSCAPE AREA CALCULATION

DRAWN BY  
LA

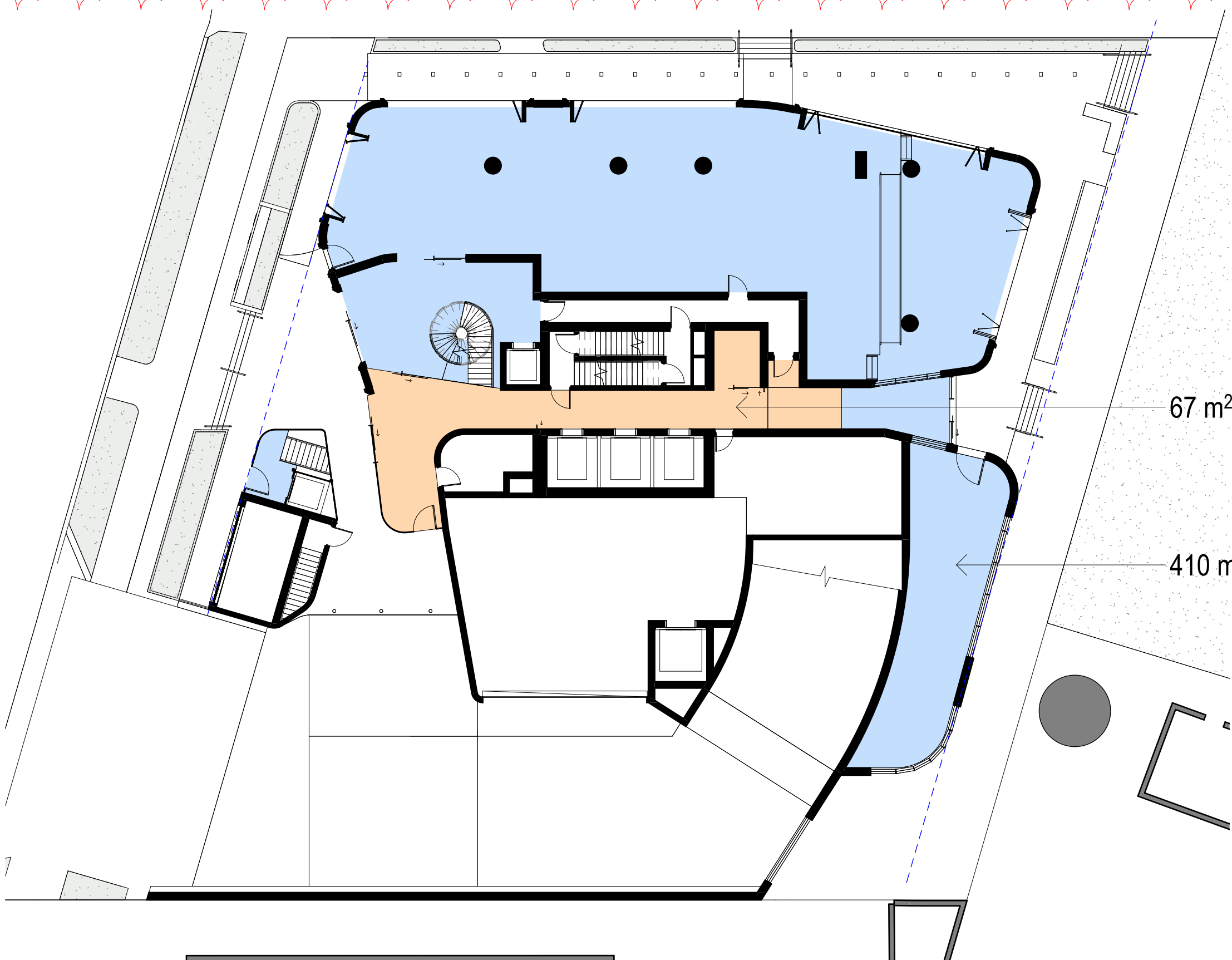
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VS







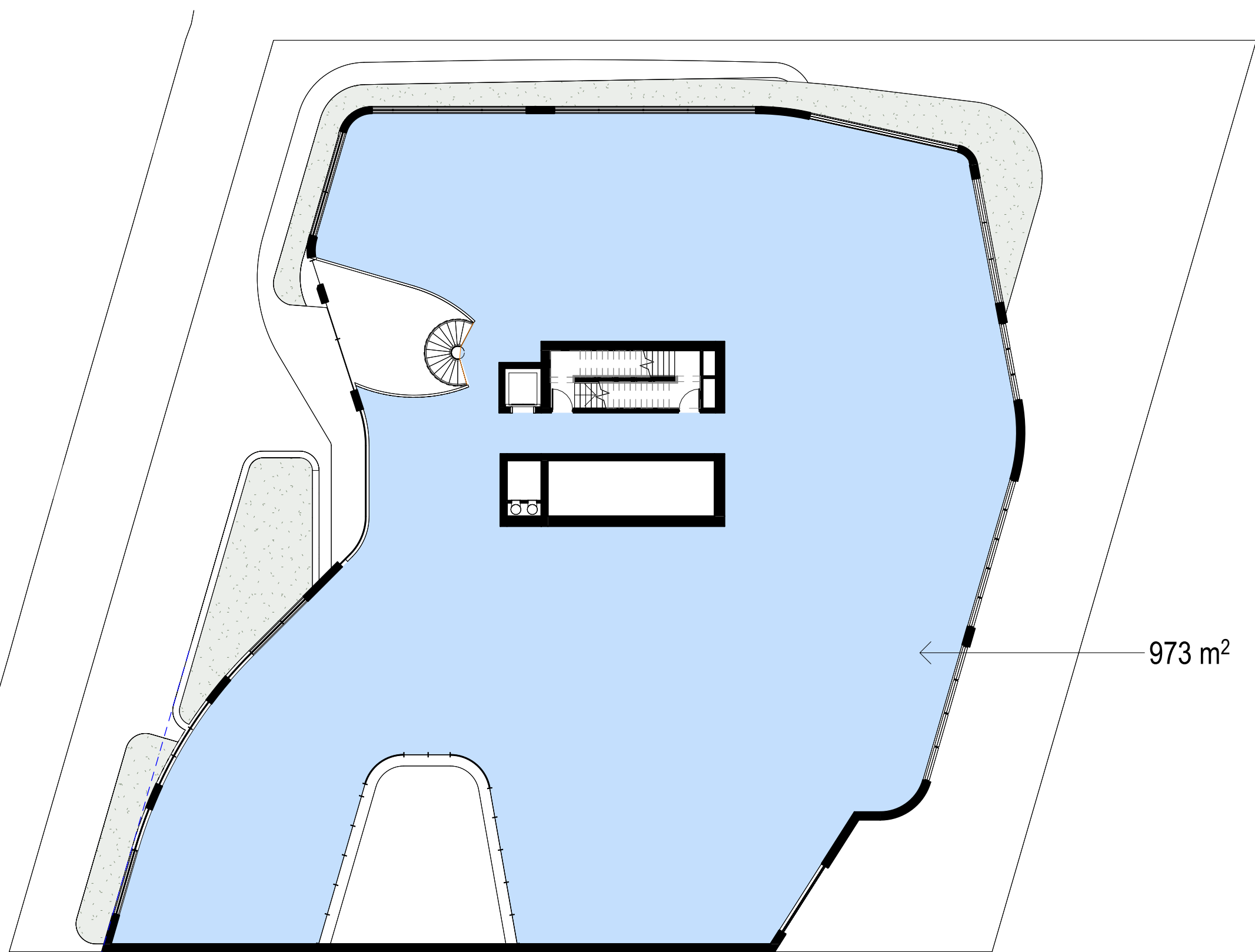
1 **GFA - BASEMENT LEVEL 1.**



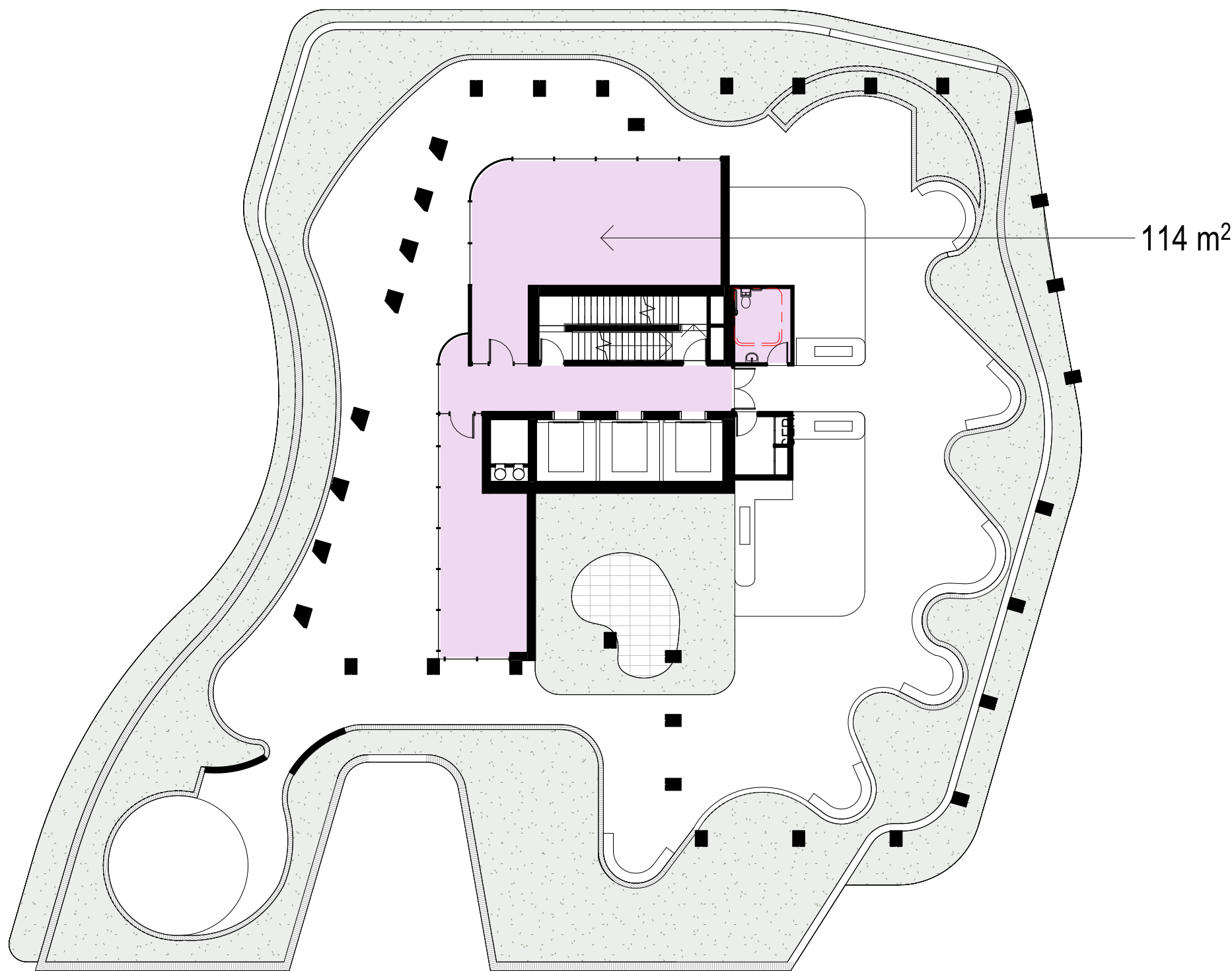
2 **GFA - GROUND LEVEL.**

LEGEND:

- COMMUNAL AREA (FUTURE COMMERCIAL AREA SUBJECT TO SEPARATE DA)
- COMMUNAL AREA
- RESIDENTIAL LOBBY AREA
- RESIDENTIAL LEVEL GROSS FLOOR AREA



3 **GFA - LEVEL 1.**



4 **GFA - LEVEL 2.**

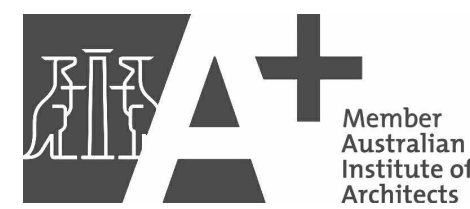
AREA THAT COULD BE USED FOR NON-RESIDENTIAL PURPOSES UNDER THE AMENDED WLEP POST 30TH OF JUNE 2023

COMMUNAL GFA SUMMARY

TOTAL GFA ACHIEVED	10,860 m²
COMMUNAL GFA ACHIEVED	1,846 m² (17%)

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CONCEPT DESIGN

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GRAPHIC SCALE

NOT TO SCALE

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P1	18.01.24	Issue for Consultant
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PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

CDA-401 B

JOB NO.

DPG2309

SCALE

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ISSUE

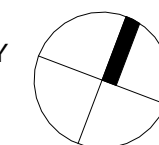
DATE

29.04.24

DRAWING TITLE  
FLOOR SPACE AREA CALCULATION -  
SHEET 1 OF 2

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PROJECT

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691-699 PACIFIC HIGHWAY,  
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DRAWING NO.

ISSUE

## CDA-402 B

JOB NO.  
DPG2309

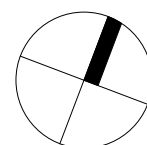
SCALE  
N.T.S.

DATE  
29.04.24

DRAWING TITLE  
FLOOR SPACE AREA CALCULATION -  
SHEET 2 OF 2

DRAWN BY  
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### CONCEPT DEVELOPMENT DATA

LEVEL	HEIGHT (m <sup>2</sup> )	FLOORS	GFA (m <sup>2</sup> )	UNITS
ROOF	3.0			
LEVEL 25	3.2	RESIDENTIAL	307	2
LEVEL 24	3.2	RESIDENTIAL	362	3
LEVEL 23	3.2	RESIDENTIAL	362	3
LEVEL 22	3.2	RESIDENTIAL	362	3
LEVEL 21	3.2	RESIDENTIAL	362	3
LEVEL 20	3.2	RESIDENTIAL	362	3
LEVEL 19	3.2	RESIDENTIAL	362	3
LEVEL 18	3.2	RESIDENTIAL	379	4
LEVEL 17	3.2	RESIDENTIAL	379	4
LEVEL 16	3.2	RESIDENTIAL	379	4
LEVEL 15	3.2	RESIDENTIAL	379	4
LEVEL 14	3.2	RESIDENTIAL	379	4
LEVEL 13	3.2	RESIDENTIAL	379	4
LEVEL 12	3.2	RESIDENTIAL	379	4
LEVEL 11	3.2	RESIDENTIAL	379	4
LEVEL 10	3.2	RESIDENTIAL	379	4
LEVEL 9	3.2	RESIDENTIAL	379	4
LEVEL 8	3.2	RESIDENTIAL	379	4
LEVEL 7	3.2	RESIDENTIAL	437	5
LEVEL 6	3.2	RESIDENTIAL	437	5
LEVEL 5	3.2	RESIDENTIAL	437	5
LEVEL 4	3.2	RESIDENTIAL	437	5
LEVEL 3	3.2	RESIDENTIAL	437	5
LEVEL 2	3.2	COMMUNAL AREA	114	
LEVEL 1	3.6	COMMUNAL AREA	973	
GROUND FLOOR	5.8	COMMUNAL AREA	477	
BASEMENT 1	3.3	CARPARKING	463	
BASEMENT 2	3.1	CARPARKING		
BASEMENT 3	3.1	CARPARKING		
BASEMENT 4	3.1	CARPARKING		
TOTAL GFA			10,860	89

### GFA SCHEDULE

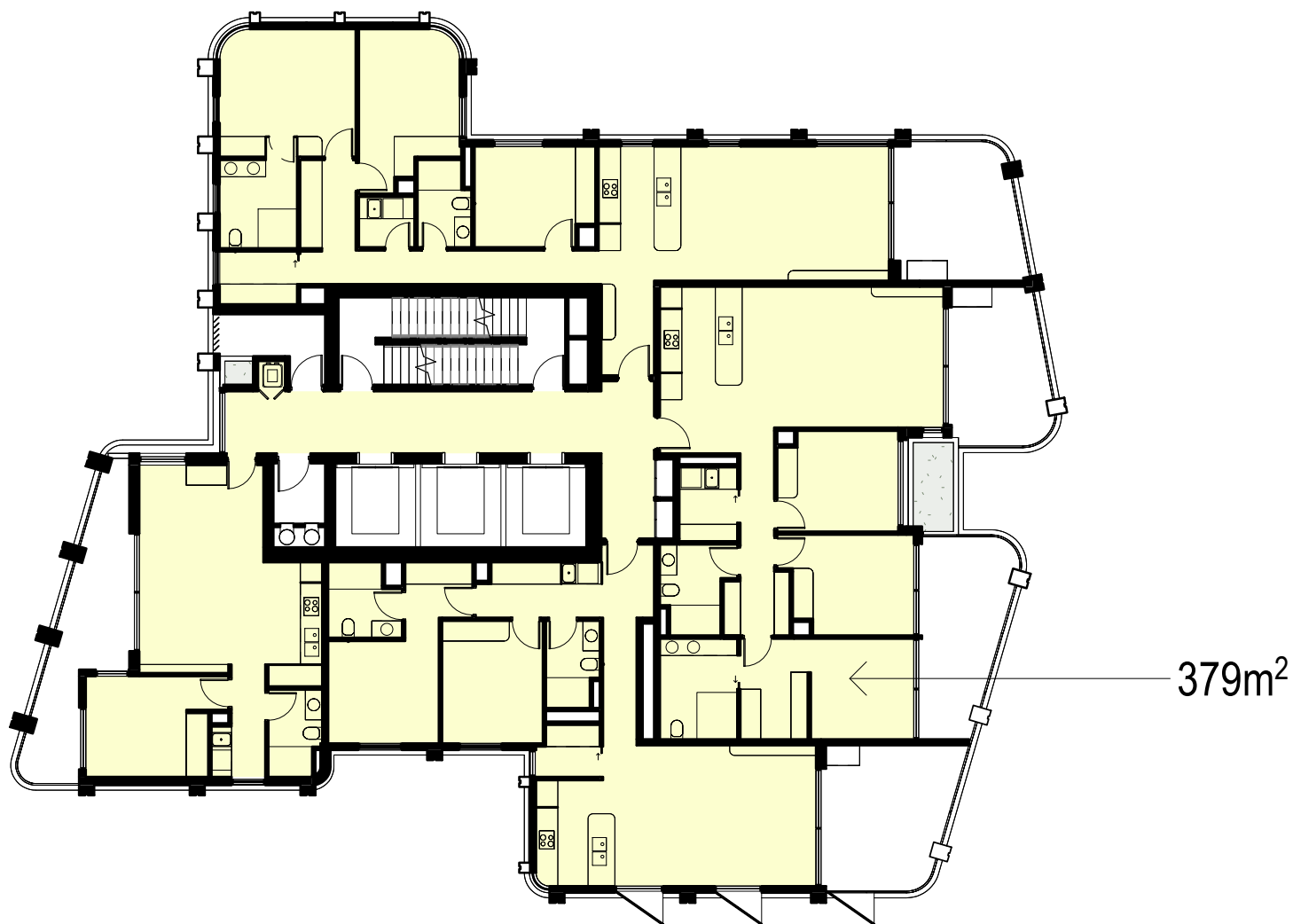
SITE AREA	1810 m <sup>2</sup>
MAXIMUM FSR	6 : 1
MAXIMUM GFA	10,860 m <sup>2</sup>
COMMUNAL AREA (FUTURE COMMERCIAL AREA SUBJECT TO SEPARATE DA)	1846 m <sup>2</sup> (17%)
RESIDENTIAL AREA	8243 m <sup>2</sup>
6% AFFORDABLE HOUSING (15 YEAR PERIOD) (UNITS: 305, 405, 505, 804, 902, 1002, 1303)	493 m <sup>2</sup>
4% AFFORDABLE HOUSING (PERPETUITY) (UNITS: 603, 703, 1103, 1203)	332 m <sup>2</sup>
TOTAL AFFORDABLE HOUSING 10% (UNITS: 305, 405, 505, 603, 703, 804, 902, 1002, 1103, 1203, 1303)	825 m <sup>2</sup>
GFA ACHIEVED	10,860 m <sup>2</sup>
FSR ACHIEVED	6 : 1
APARTMENT PROVIDED	89 UNITS

#### LEGEND:

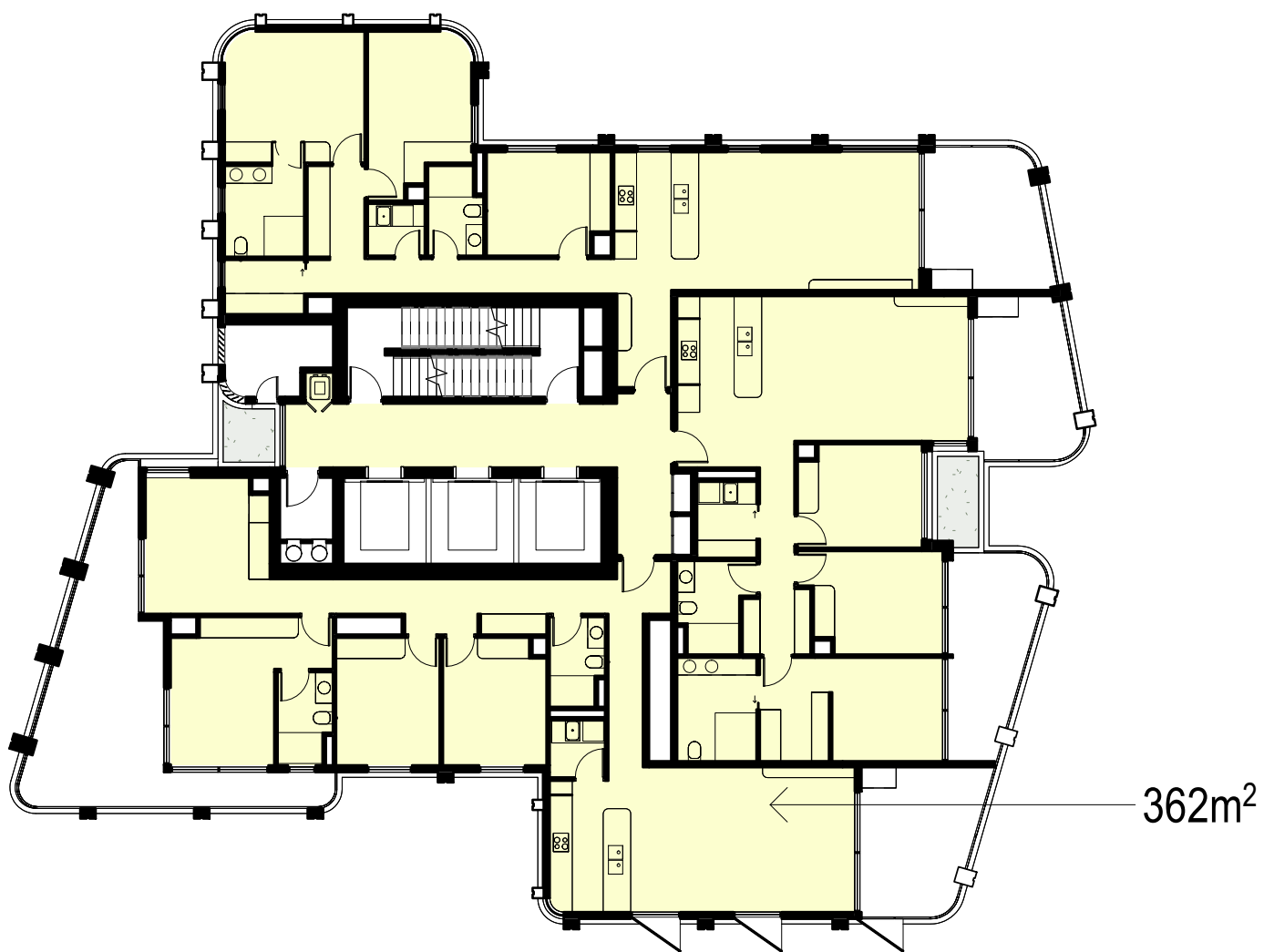
	COMMUNAL AREA (FUTURE COMMERCIAL AREA SUBJECT TO SEPARATE DA)
	COMMUNAL AREA
	RESIDENTIAL LOBBY AREA
	RESIDENTIAL LEVEL GROSS FLOOR AREA



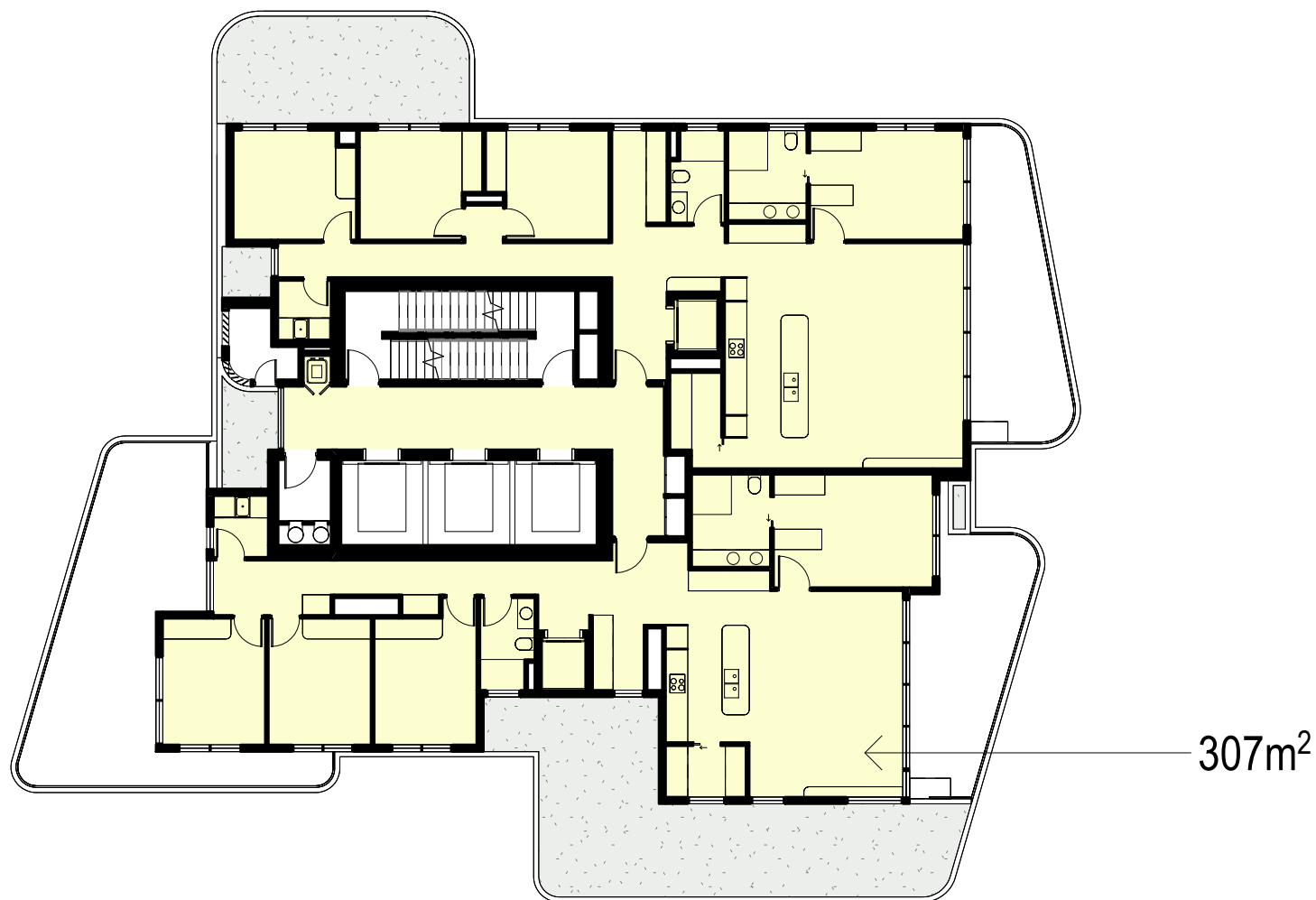
1 GFA - LEVEL 3-7



2 GFA - LEVEL 8-18

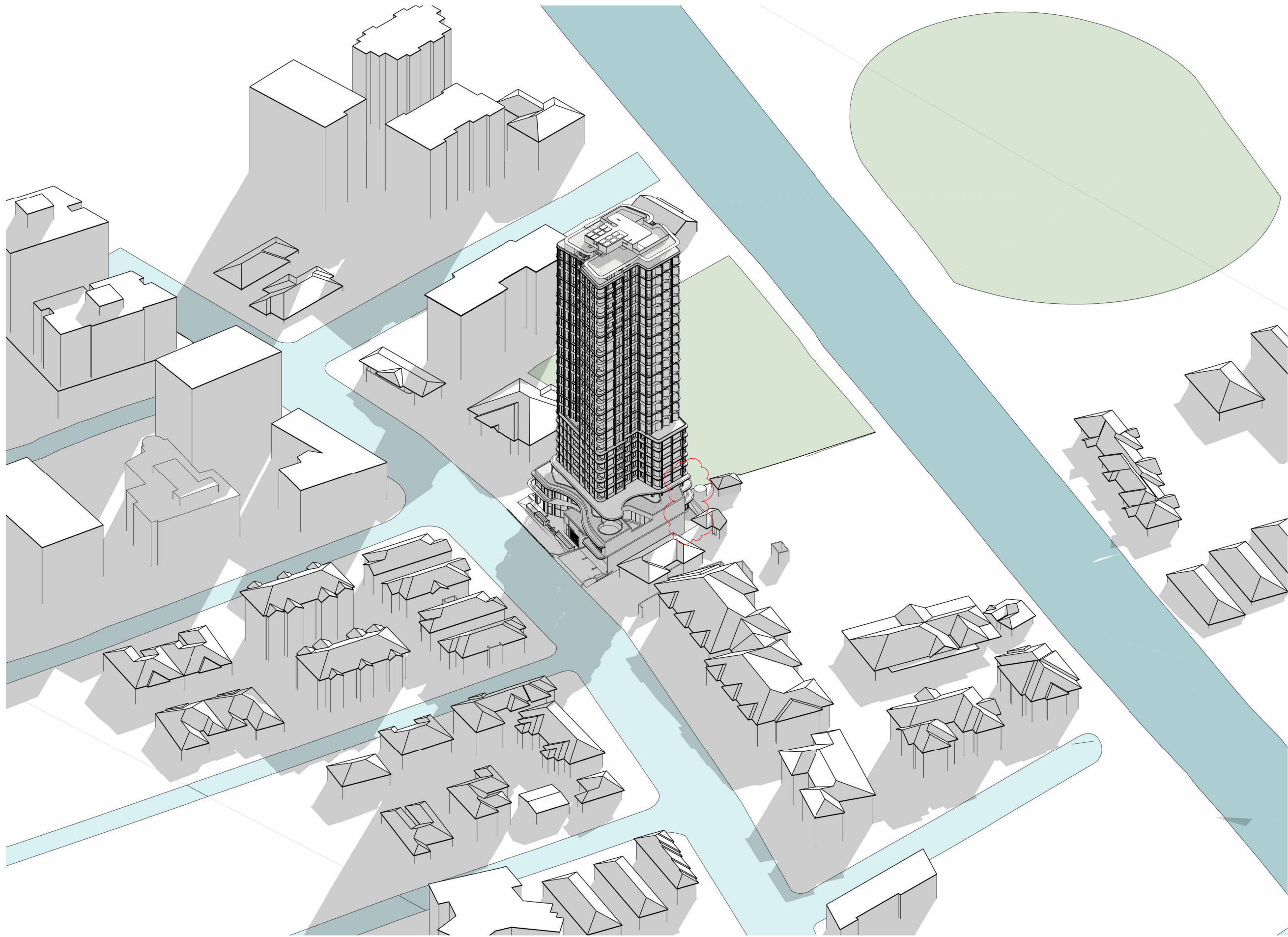


3 GFA - LEVEL 19-24

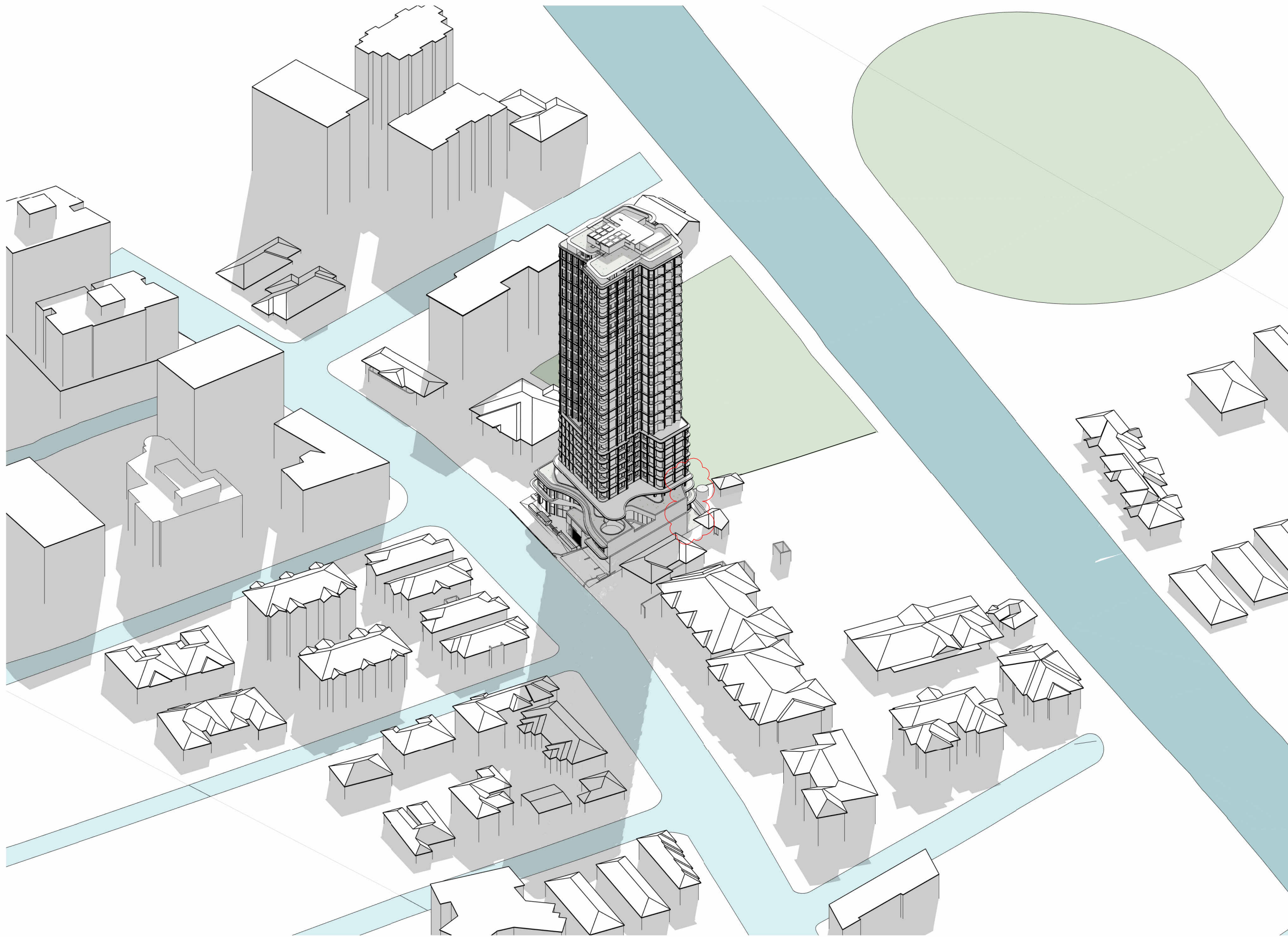


4 GFA - LEVEL 25.

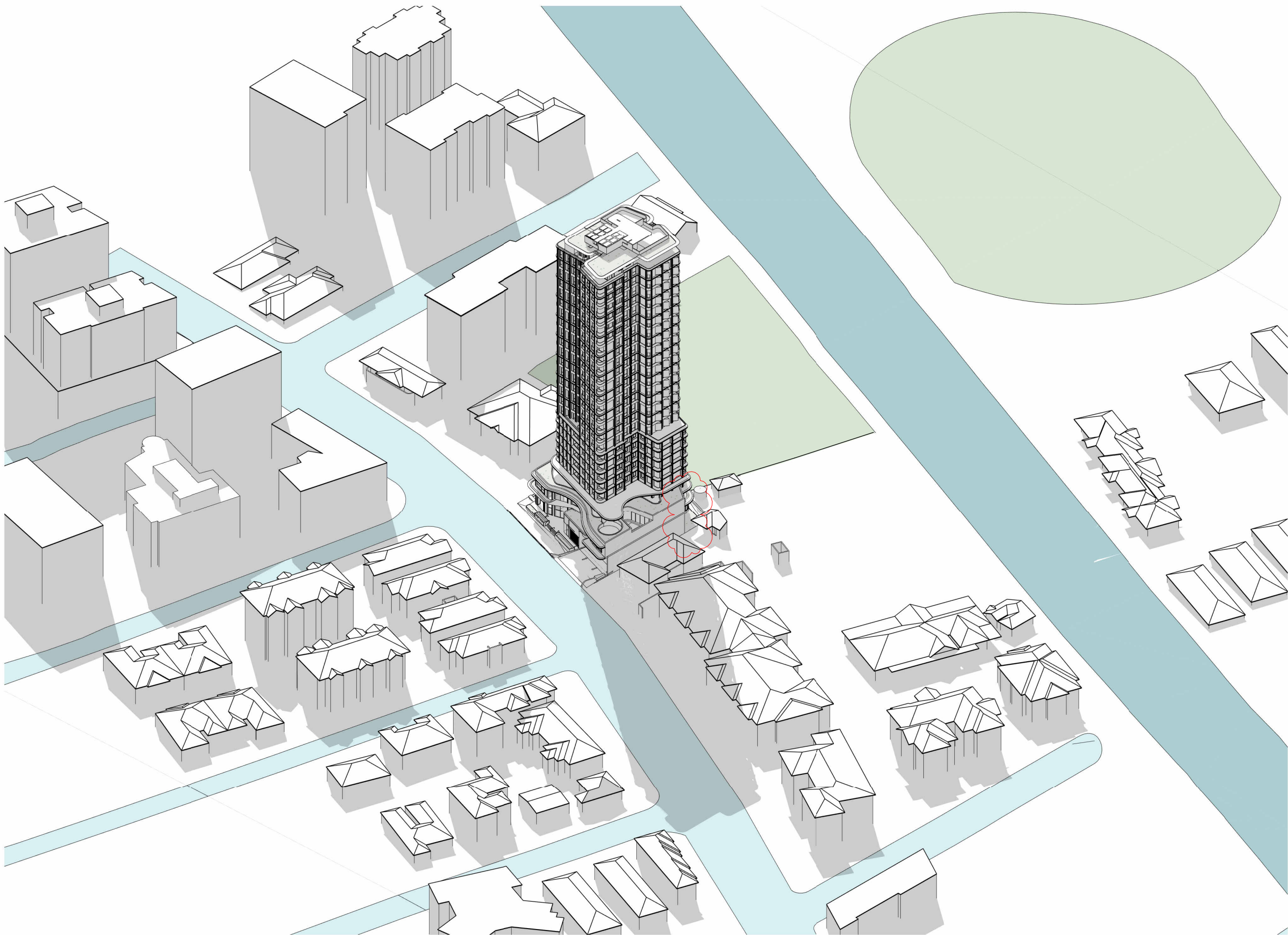




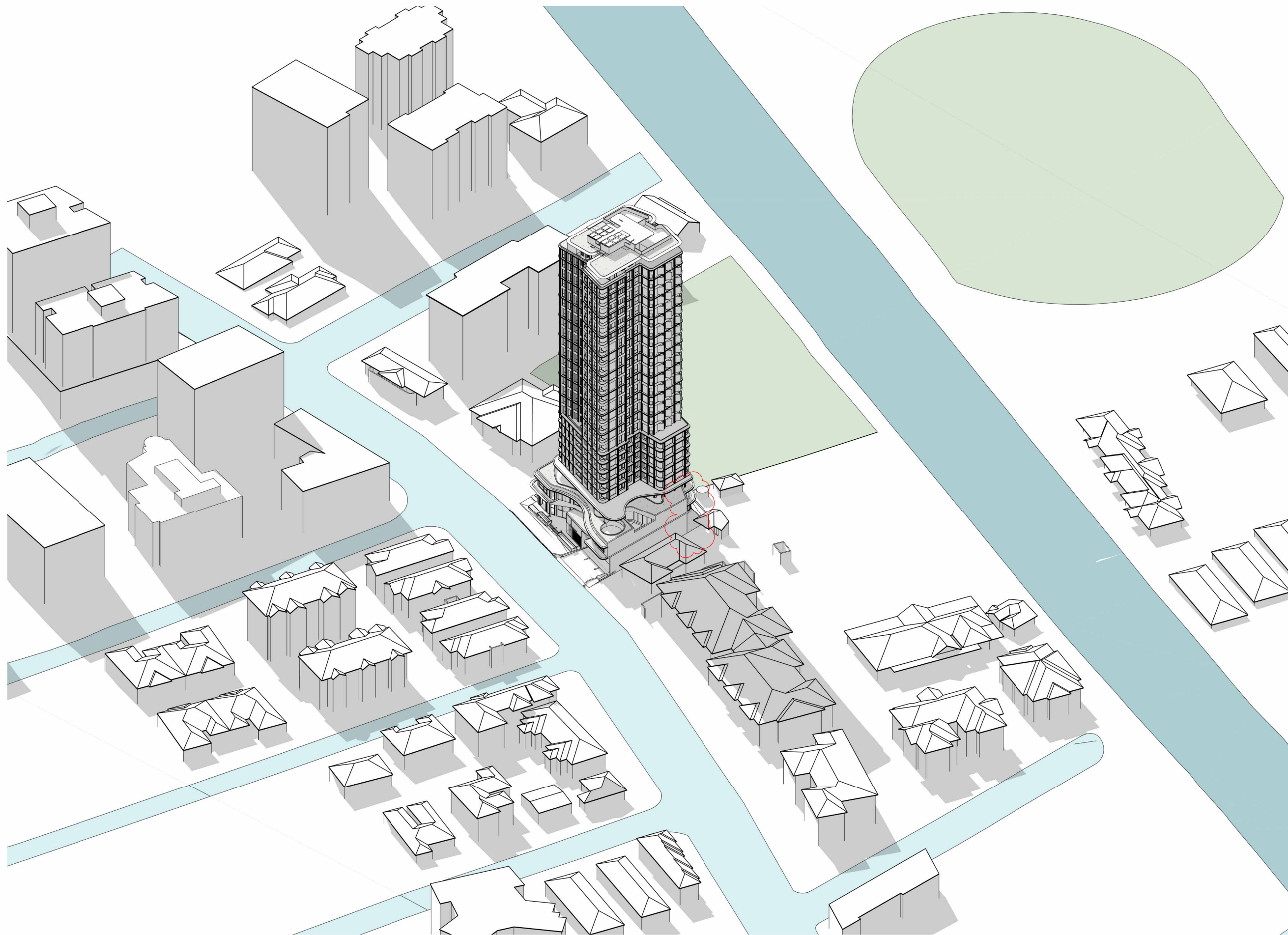
1 **SHADOW DIAGRAM - WINTER 9AM**  
@ A1



2 **SHADOW DIAGRAM - WINTER 10AM**  
@ A1



3 **SHADOW DIAGRAM - WINTER 11AM**  
@ A1



4 **SHADOW DIAGRAM - WINTER 12PM**  
@ A1

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GRAPHIC SCALE

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DRAWING NOTES

B	29.04.24	Revised Concept DA
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P1	18.01.24	Issue for Consultant
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PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

## CDA-500

ISSUE

## B

JOB NO.

DPG2309

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@ A1

DATE

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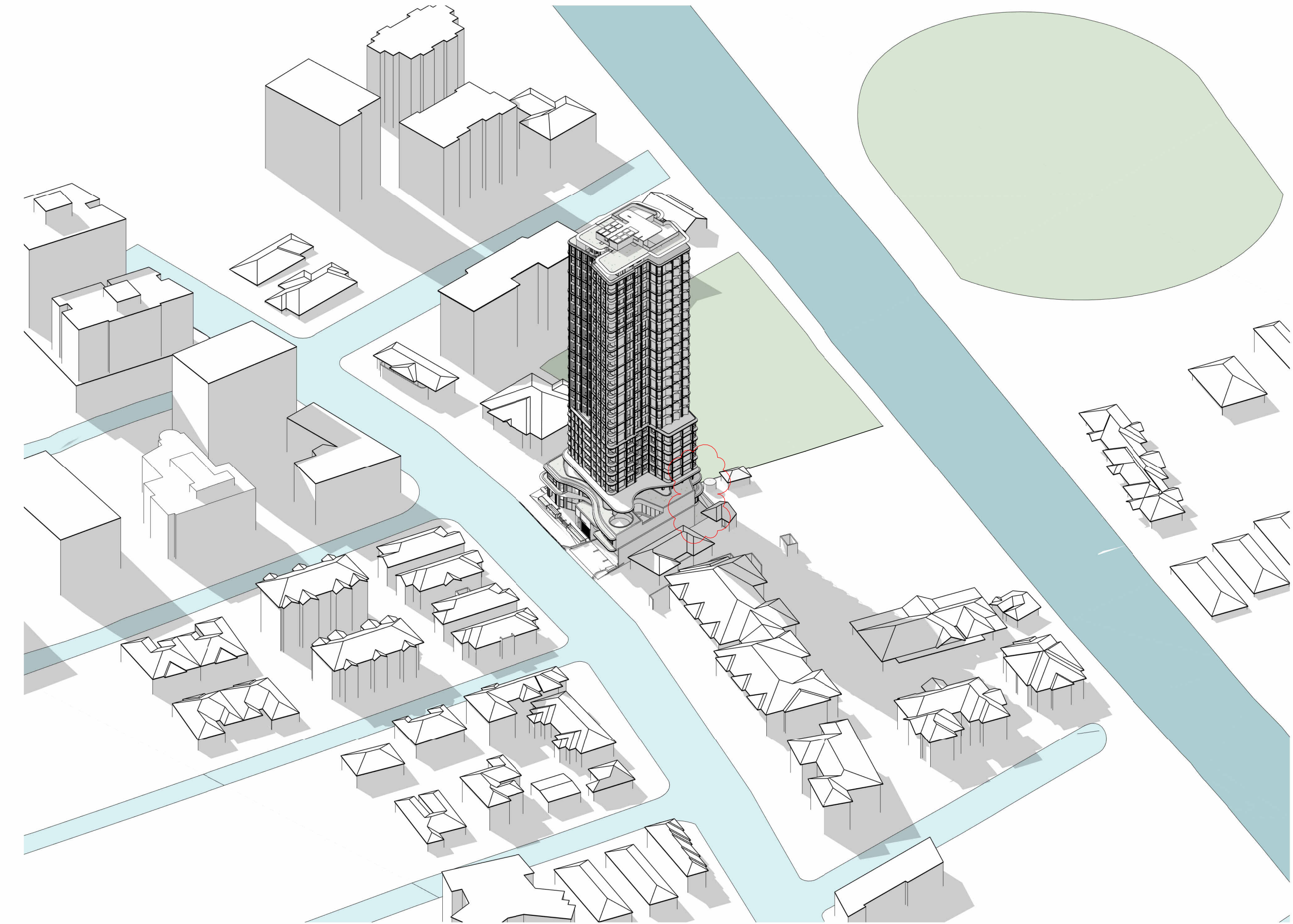
DRAWING TITLE

SHADOW DIAGRAM SHEET 1

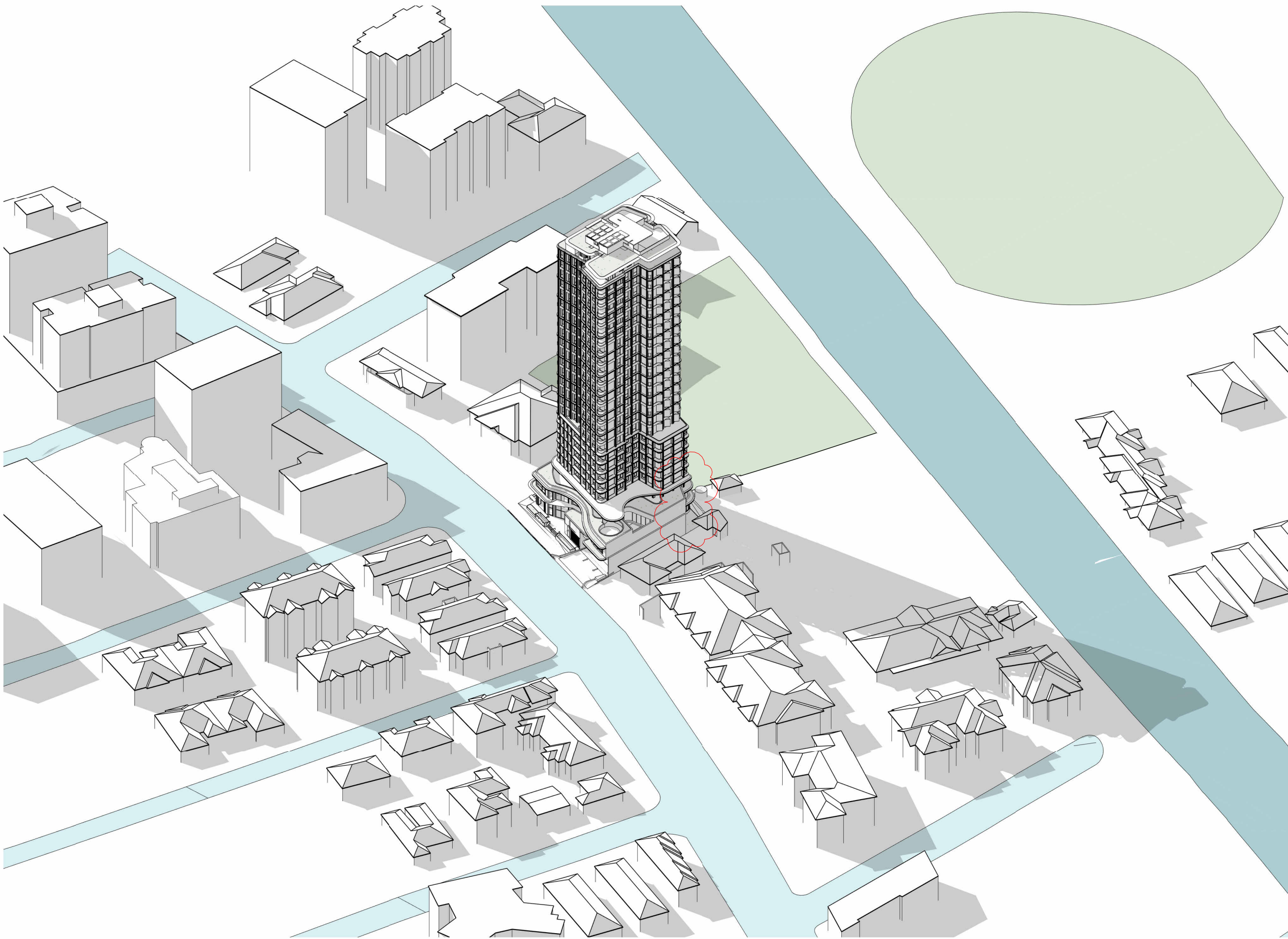
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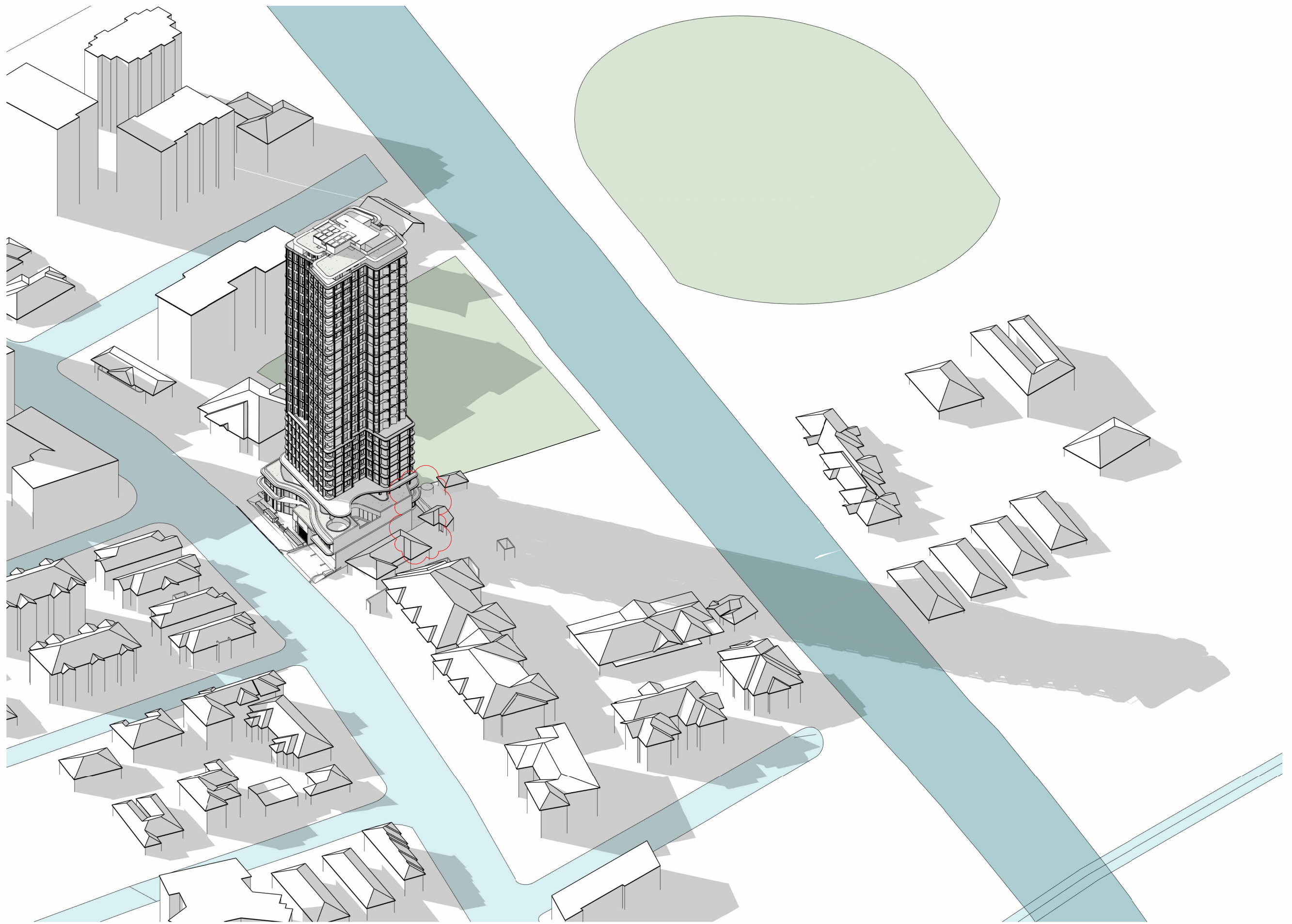




1 **SHADOW DIAGRAM - WINTER 1PM**  
@ A1



2 **SHADOW DIAGRAM - WINTER 2PM**  
@ A1



3 **SHADOW DIAGRAM - WINTER 3PM**  
@ A1

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CHATSWOOD

DRAWING NO.

**CDA-501**

ISSUE

**B**

JOB NO.

DPG2309

SCALE

@ A1

DATE

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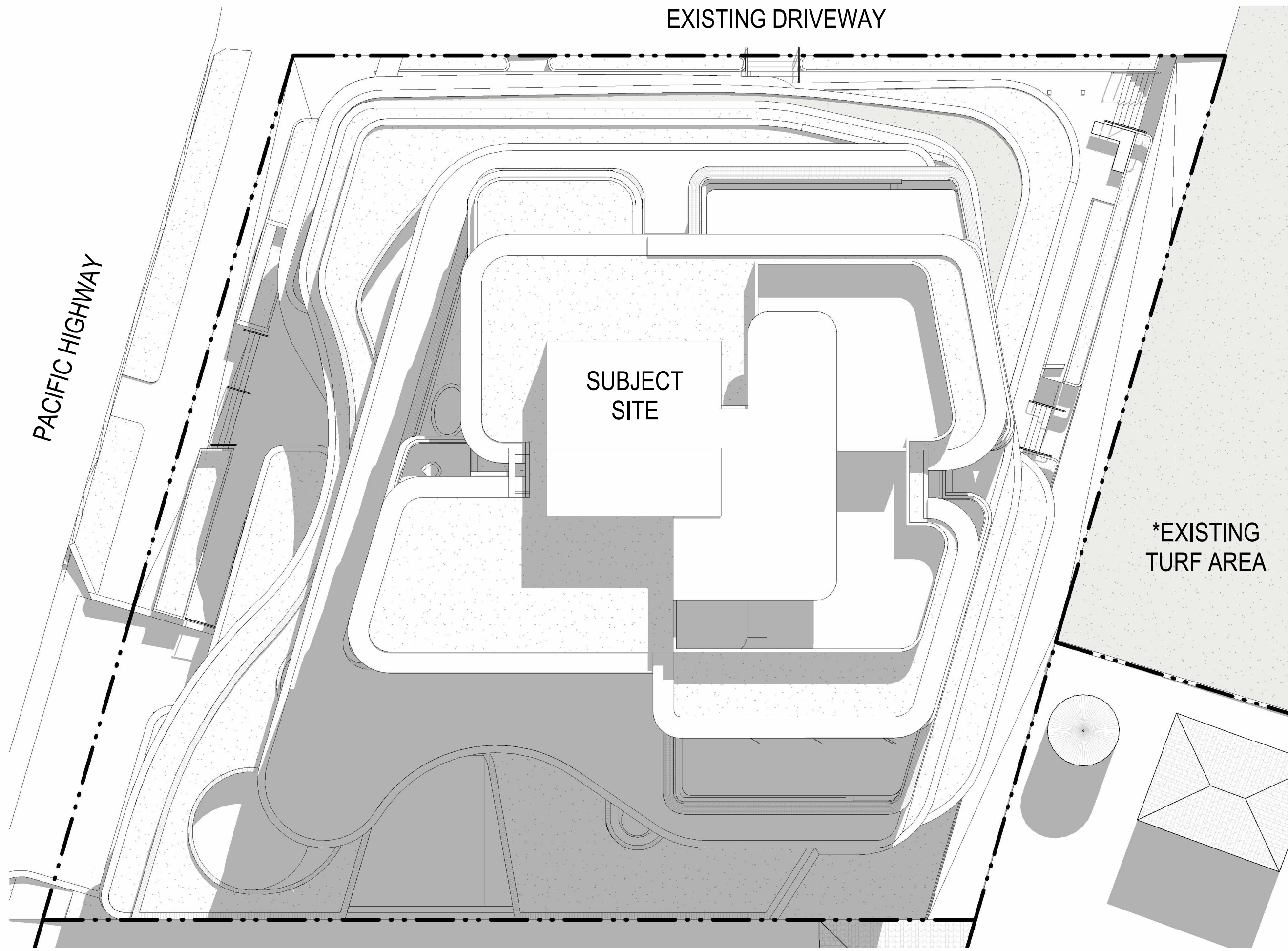
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SHADOW DIAGRAM SHEET 2

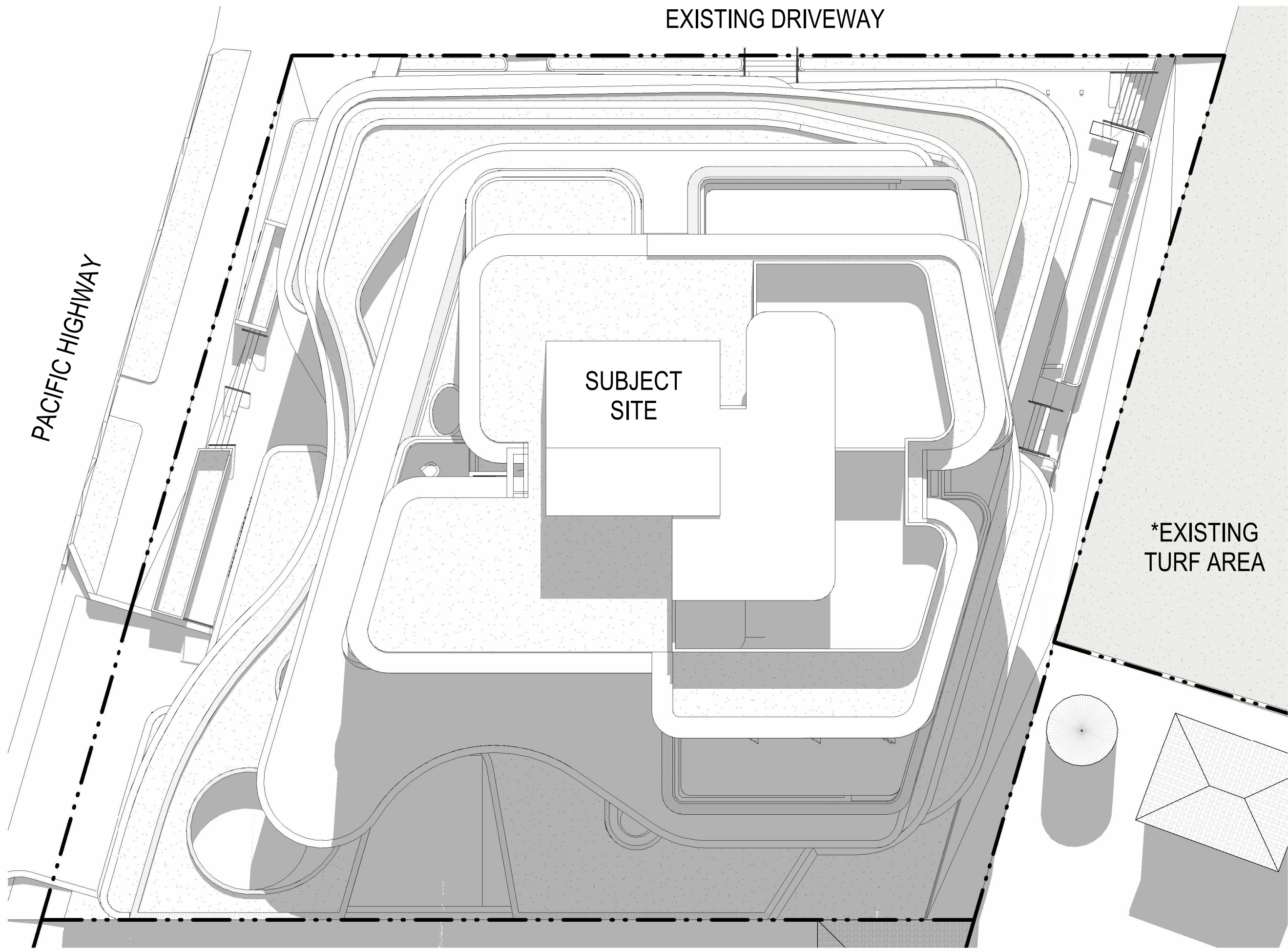
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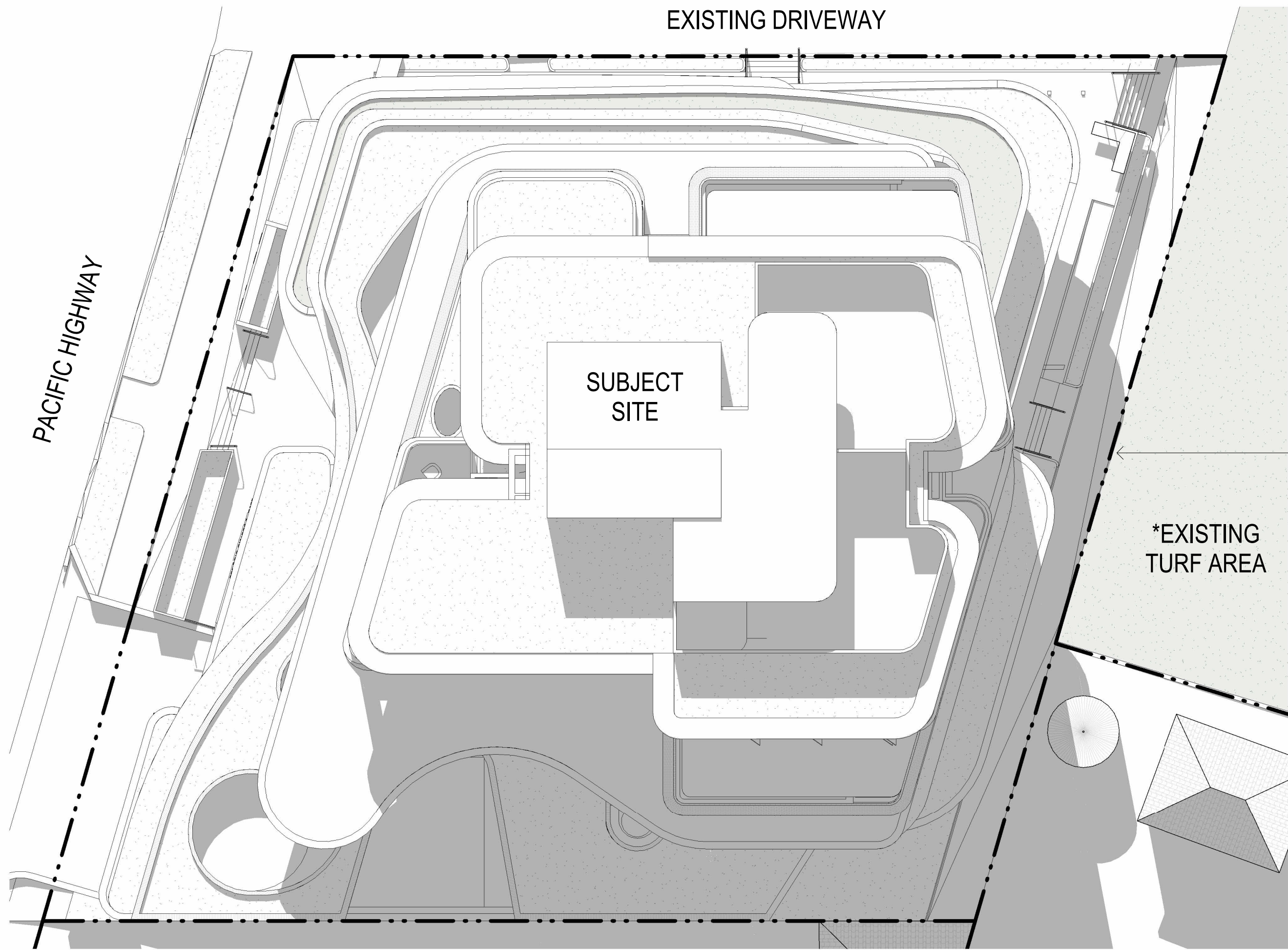




1 OPEN SPACE SHADOW STUDY - 12PM MIDWINTER



2 OPEN SPACE SHADOW STUDY - 1PM MIDWINTER



3 OPEN SPACE SHADOW STUDY - 2PM MIDWINTER

THE BUILDING DOES NOT CAST SHADOWS OVER THE ADJACENT PARK FROM 12PM-2PM AT MIDWINTER

COMPLIES

**LEGEND**

\* DCP SUN ACCESS PROTECTION ZONE AS PER WDCP 2023, PART L 4.3.1 (b)

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DRAWING NOTES

10

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DRAWING NO.

**CDA-502**

ISSUE

**B**

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SCALE

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DATE

29.04.24

DRAWING TITLE

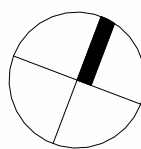
DCP SUN ACCESS PROTECTION ZONE ANALYSIS

DRAWN BY

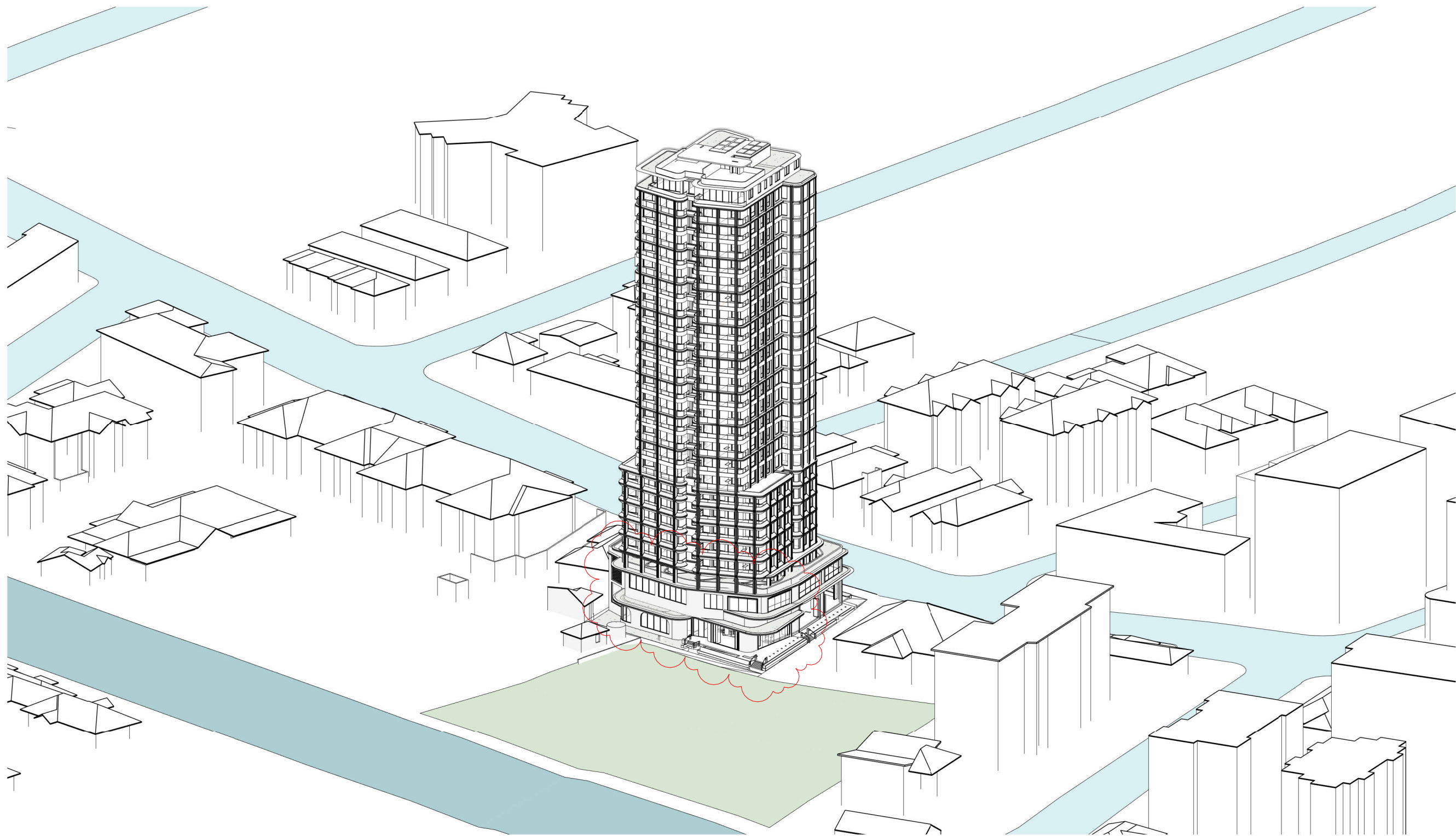
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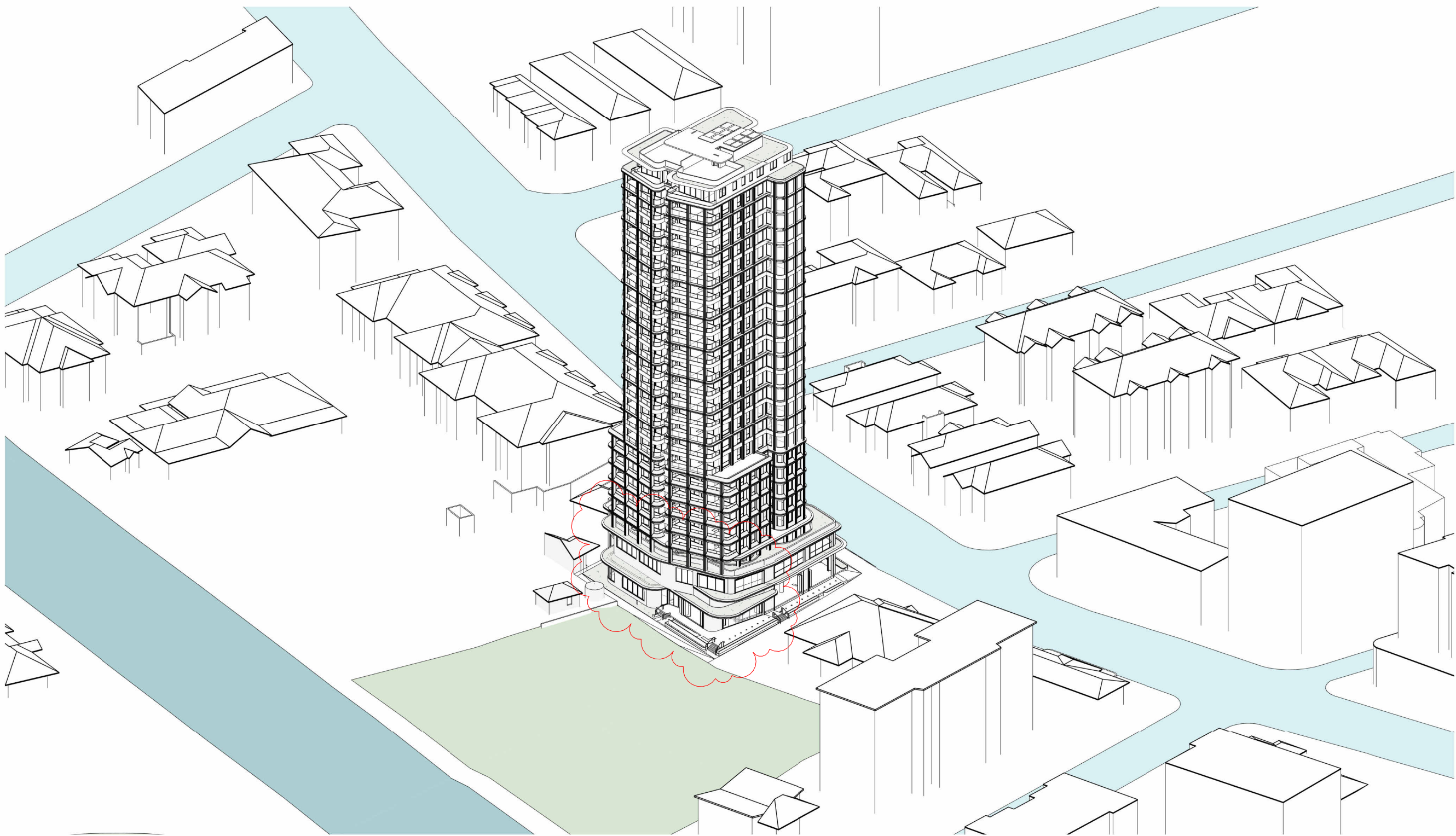
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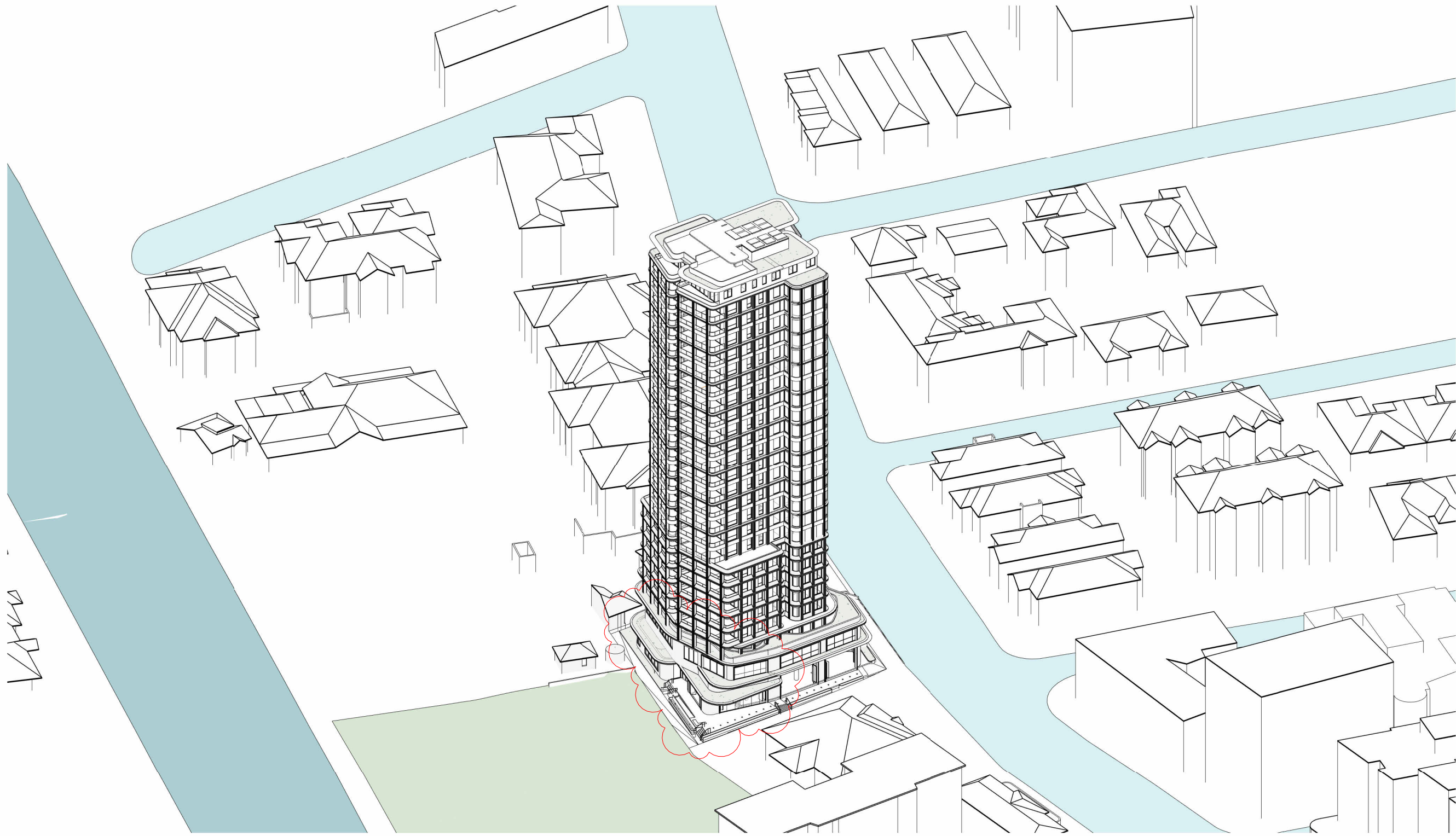




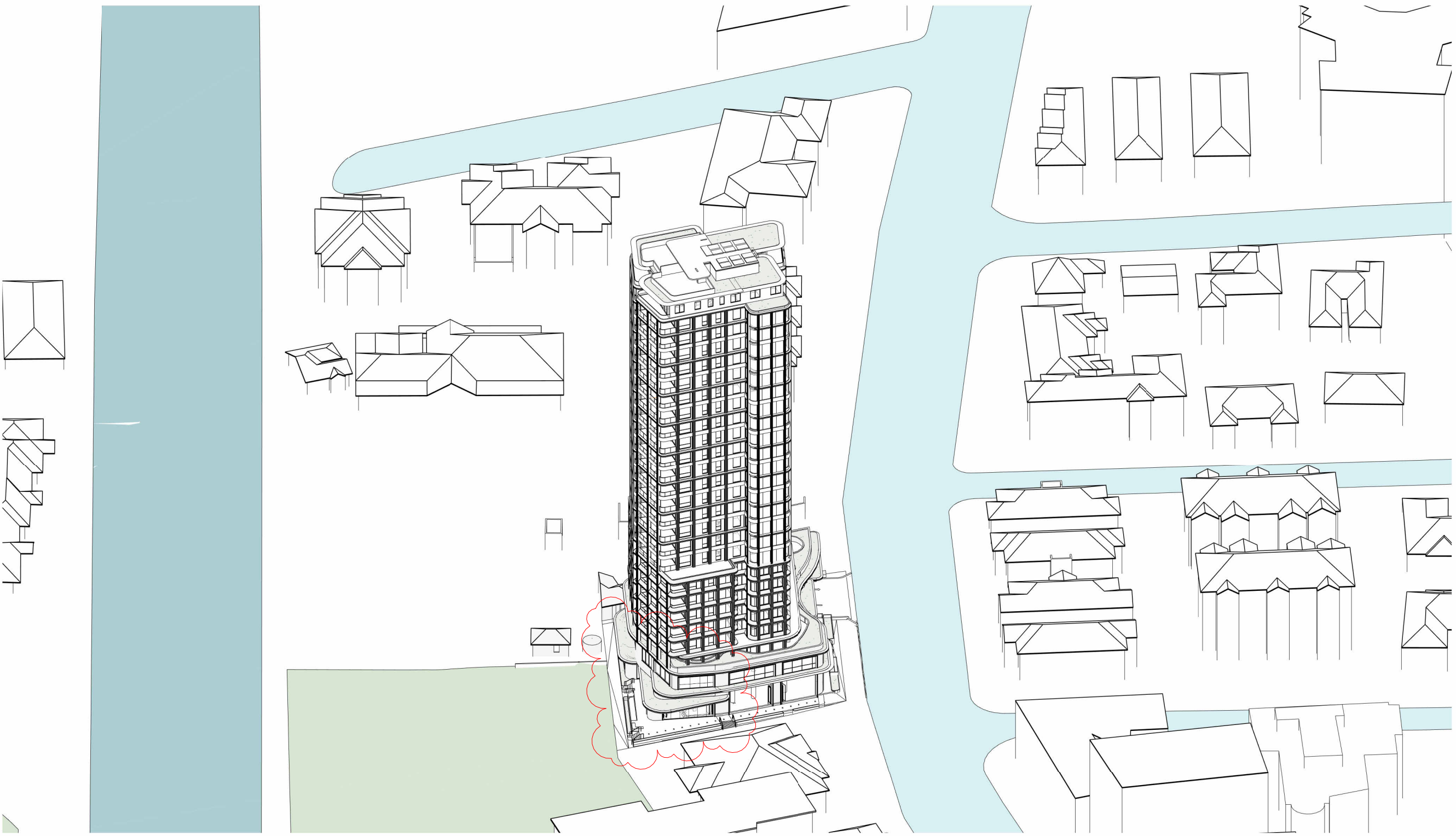
1 **SUN'S EYE VIEW - WINTER 9AM.**  
@ A1



2 **SUN'S EYE VIEW - WINTER 10AM.**  
@ A1



3 **SUN'S EYE VIEW - WINTER 11AM.**  
@ A1



4 **SUN'S EYE VIEW - WINTER 12PM.**  
@ A1

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PROJECT

CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO.

## CDA-510

ISSUE

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SCALE

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29.04.24

DRAWING TITLE

SUNPATH DIAGRAM SHEET 1

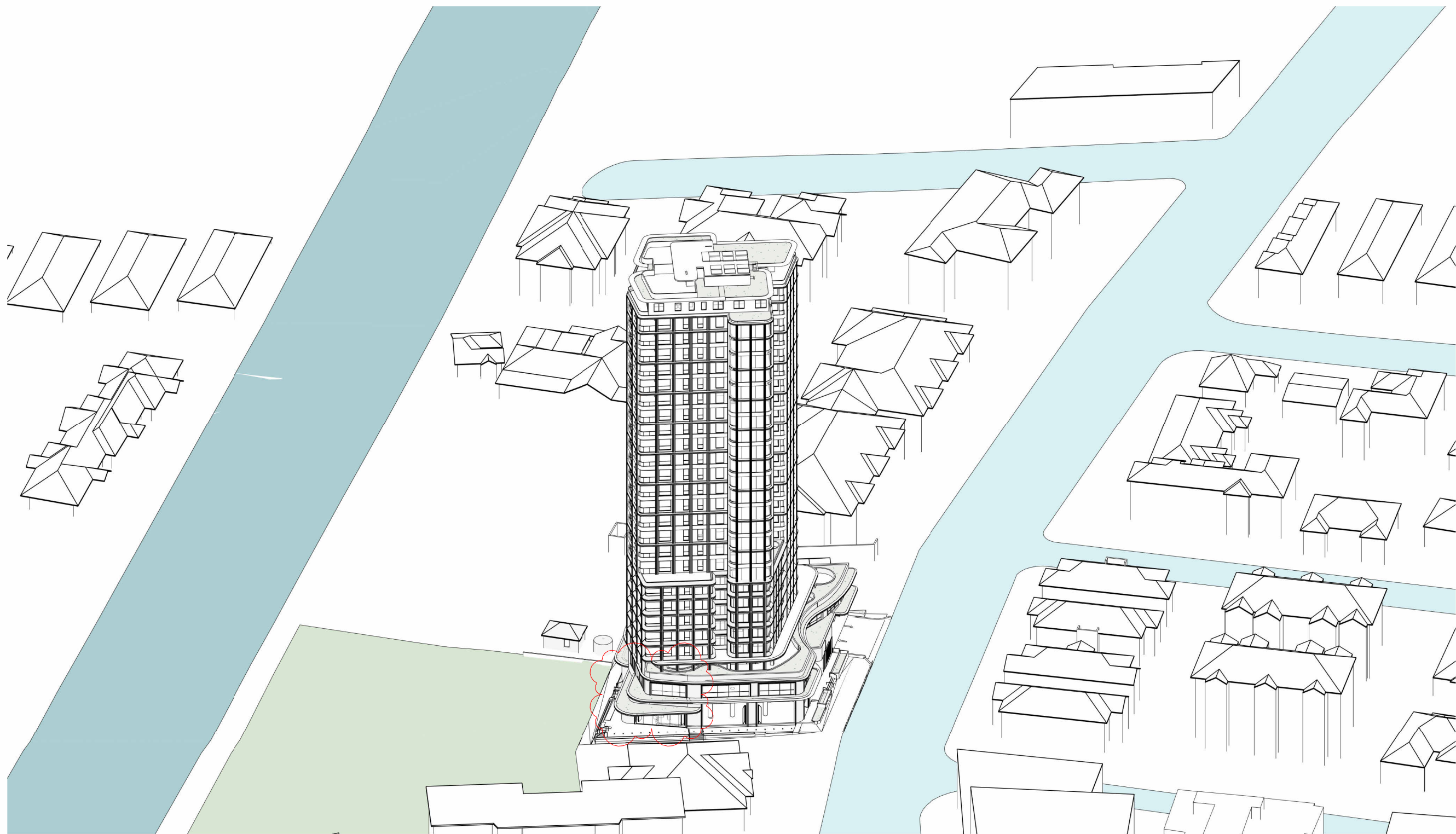
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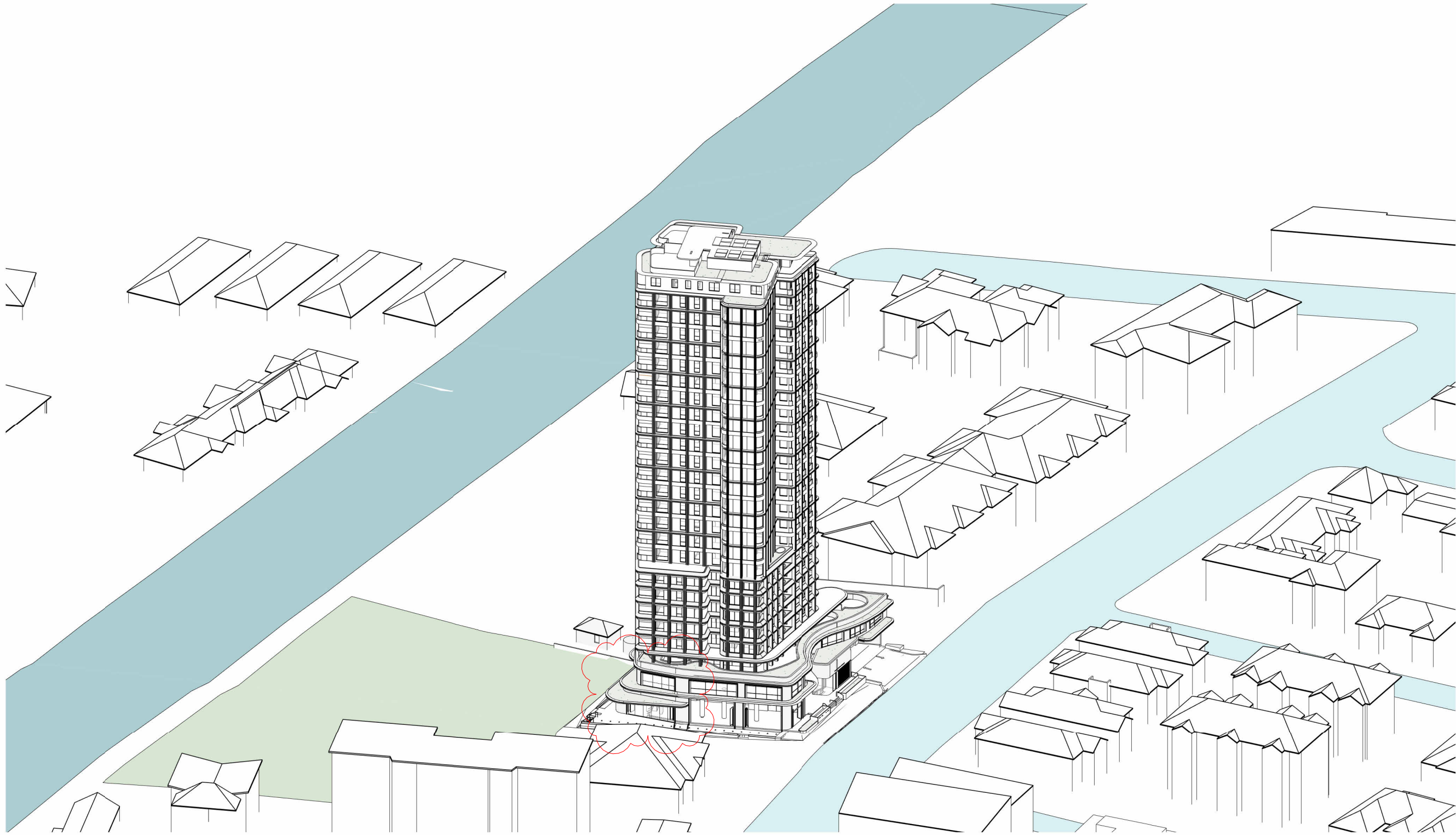
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VS

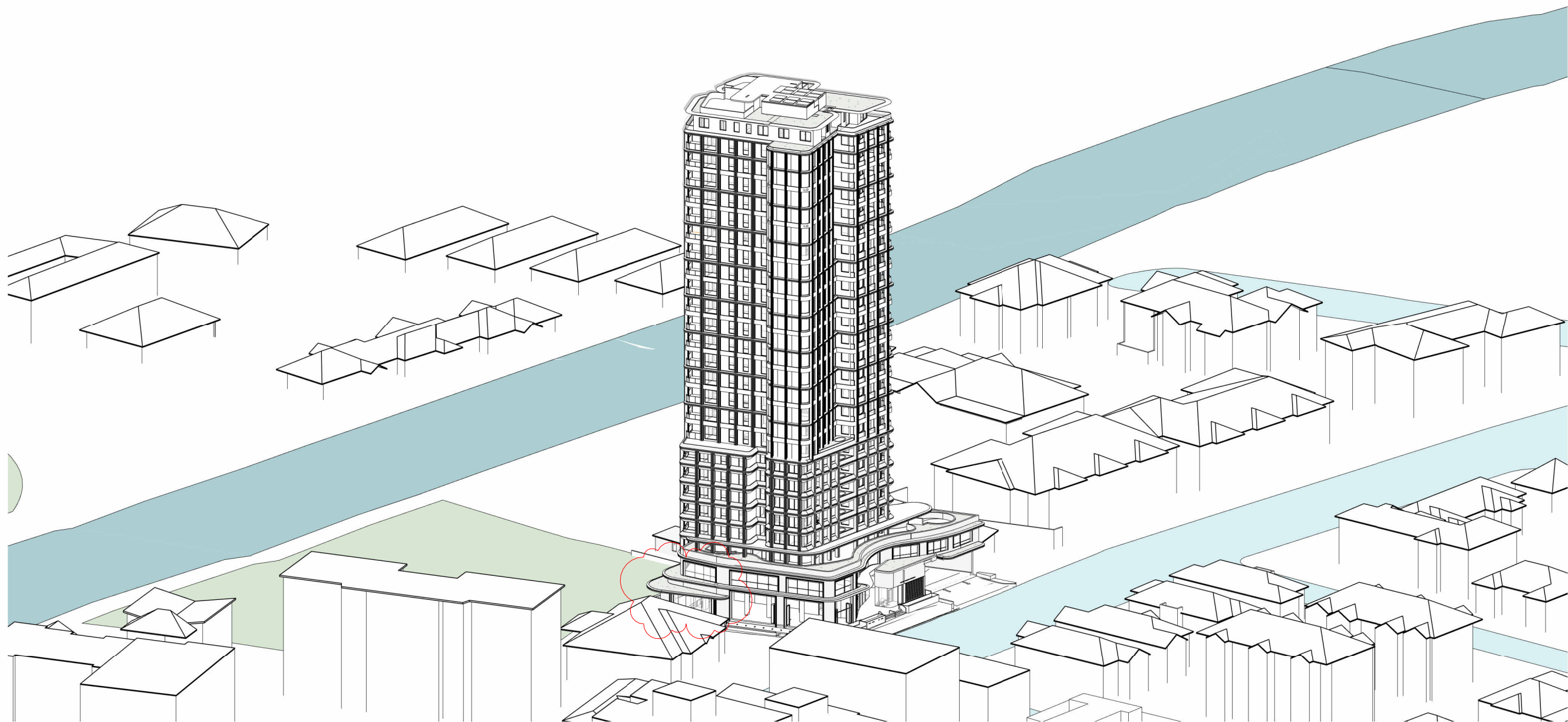




1 **SUN'S EYE VIEW - WINTER 1PM.**  
@ A1



2 **SUN'S EYE VIEW - WINTER 2PM.**  
@ A1



3 **SUN'S EYE VIEW - WINTER 3PM.**  
@ A1

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DRAWING NO.

**CDA-511**

ISSUE

**B**

JOB NO.

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@ A1

DATE

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DRAWING TITLE

SUNPATH DIAGRAM SHEET 2

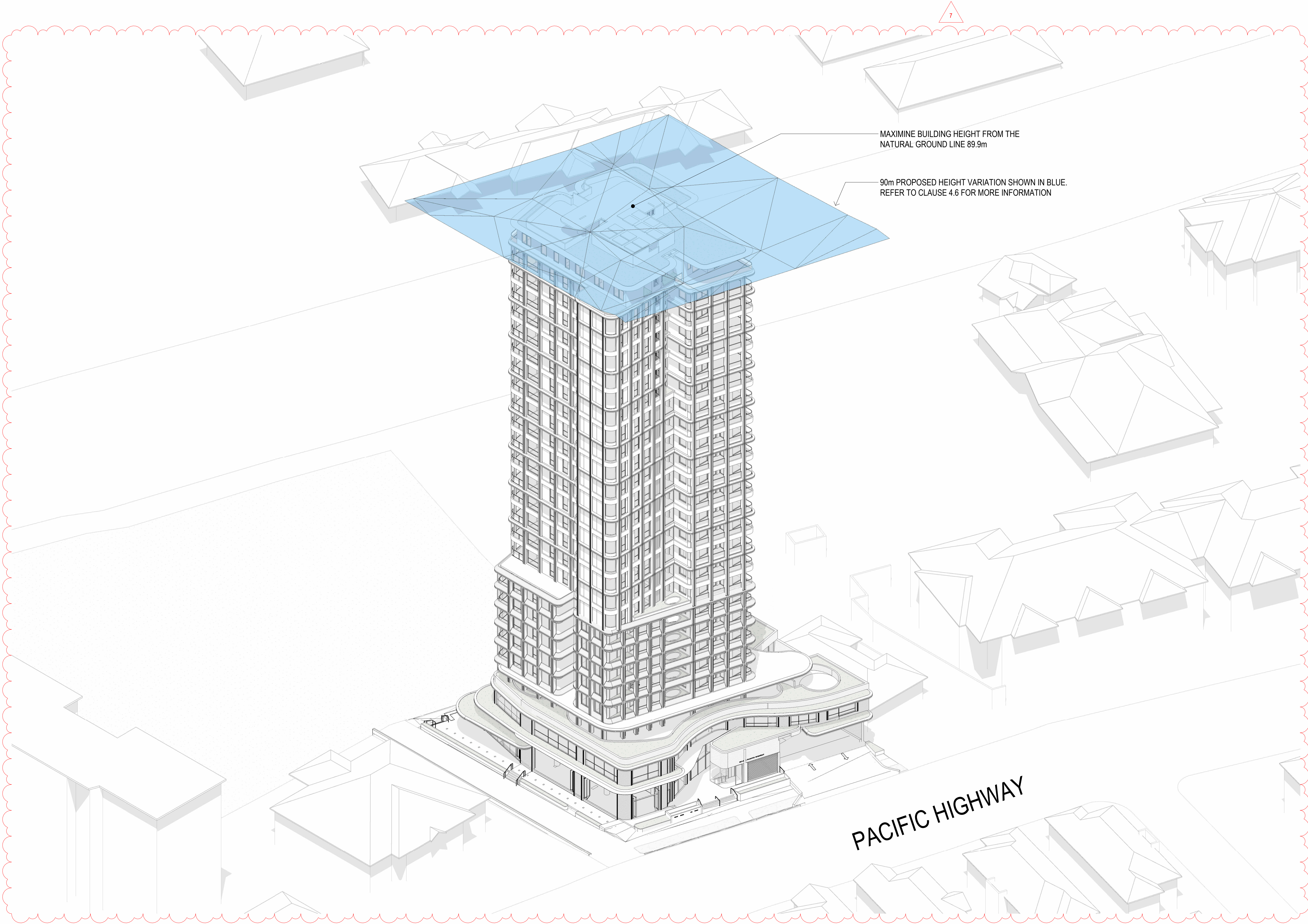
DRAWN BY

LA

CHECKED BY

VS





MAXIMINE BUILDING HEIGHT FROM THE  
NATURAL GROUND LINE 89.9m

90m PROPOSED HEIGHT VARIATION SHOWN IN BLUE.  
REFER TO CLAUSE 4.6 FOR MORE INFORMATION

PACIFIC HIGHWAY

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GRAPHIC SCALE

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PROJECT  
CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO. **CDA-550** ISSUE **A**

JOB NO. DPG2309 SCALE @ A1 DATE 29.04.24

DRAWING TITLE  
BUILDING HEIGHT PLANE DIAGRAM

DRAWN BY LA CHECKED BY VS



## CONCEPT DESIGN

Do not scale drawings. Verify all dimensions on site.  
This drawing is NOT SUITABLE for construction.

GRAPHIC SCALE

100 @ A3                      0                      5m                      10m  
200 @ A1                                            

### DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
P1	18.01.24	Issue for Consultant
<b>ISS</b>	<b>DATE</b>	<b>PURPOSE OF ISSUE</b>

CLIENT  
DPG Project 38 Pty Ltd

# squillace

ARCHITECTURE /  
INTERIORS

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**SYDNEY**  
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**NOMINATED ARCHITECT**  
Vince Squillace Reg No. 6468 (NSW),  
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT  
CHATSWOOD PH

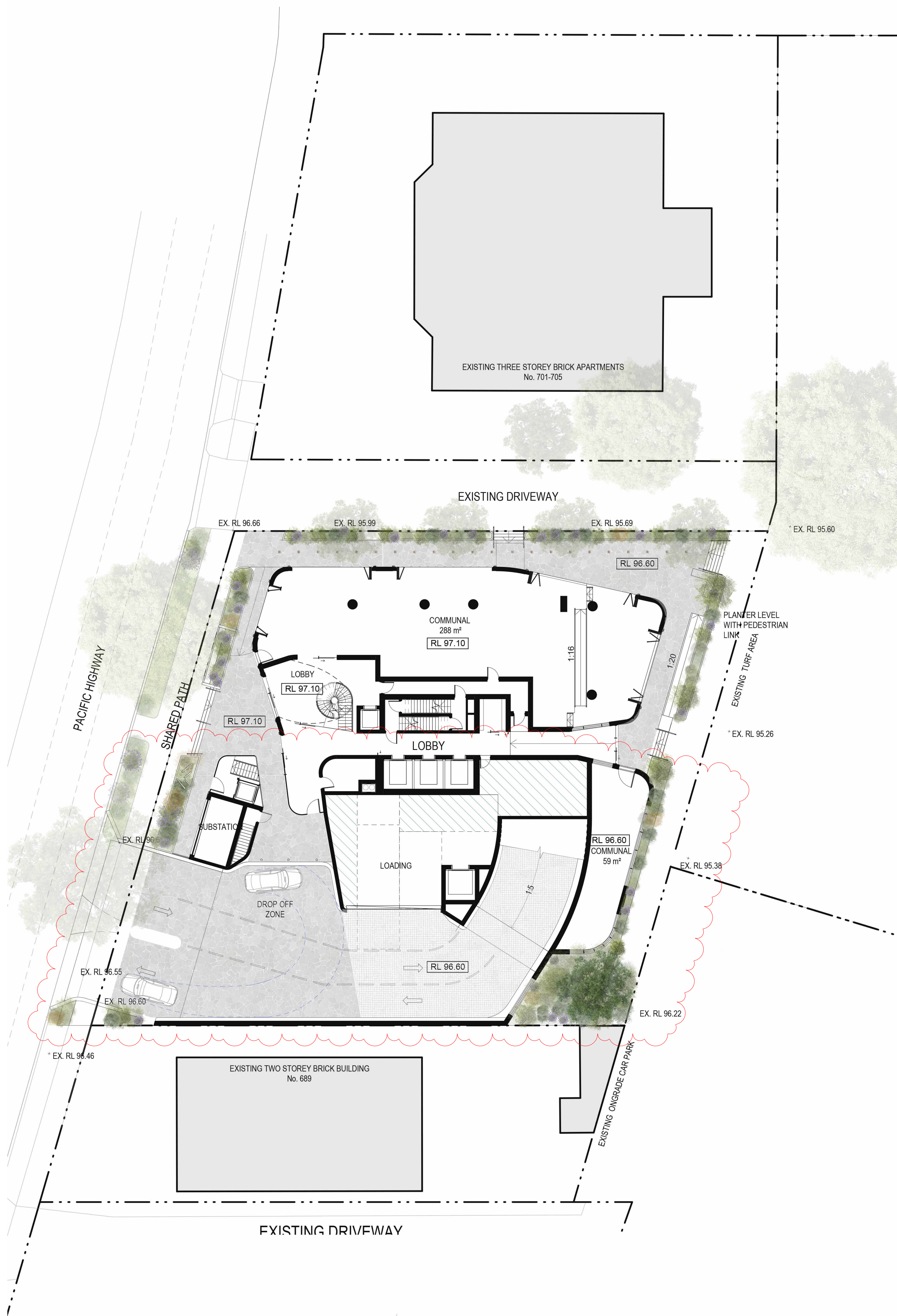
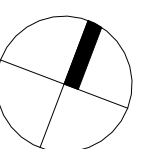
691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO. **CDA-700** ISSUE **B**

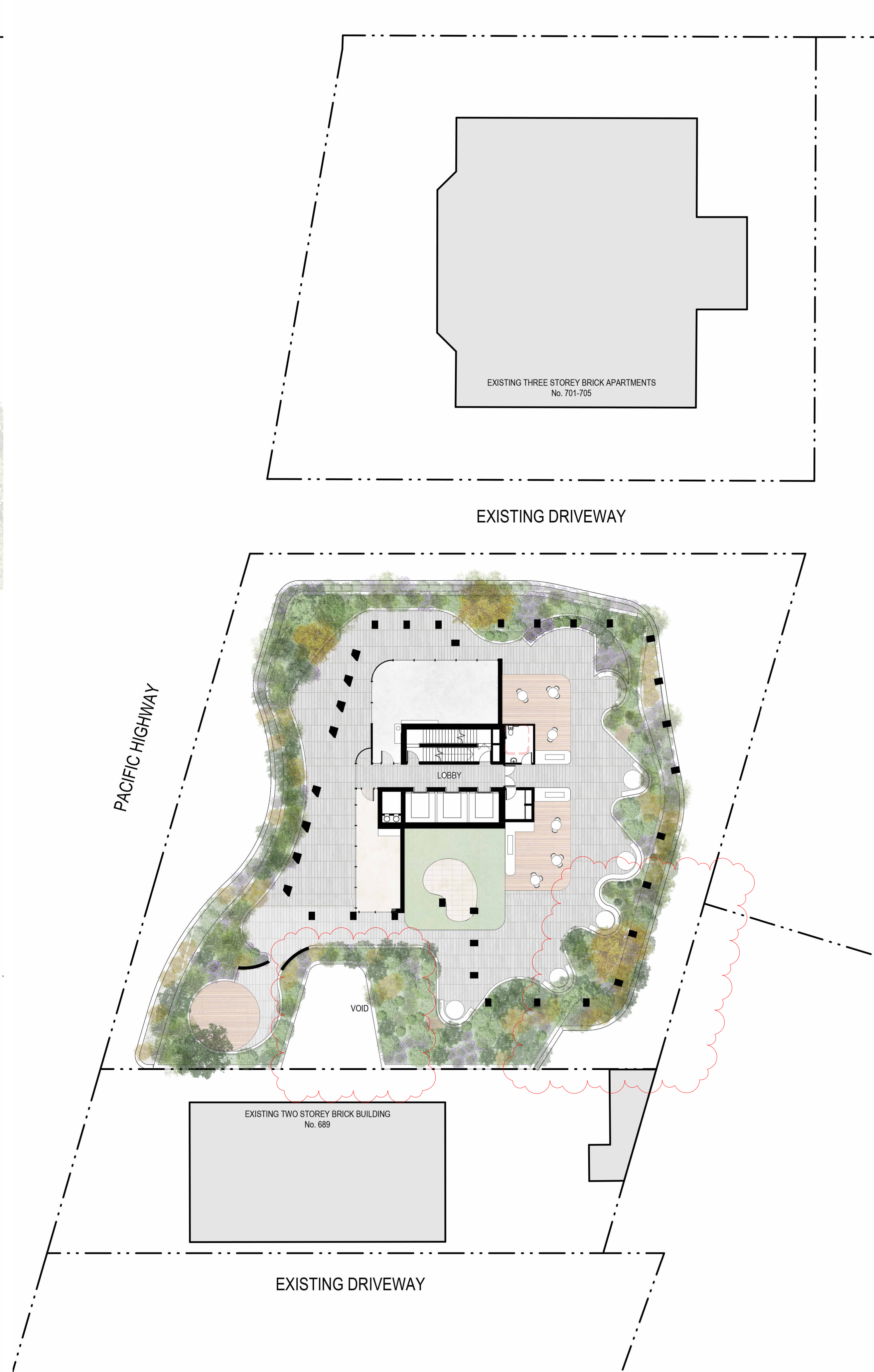
JOB NO. SCALE DATE  
DPG2309 @ A1 29.04.24

DRAWING TITLE  
LANDSCAPE CONCEPT PLAN

DRAWN BY LA CHECKED BY VS

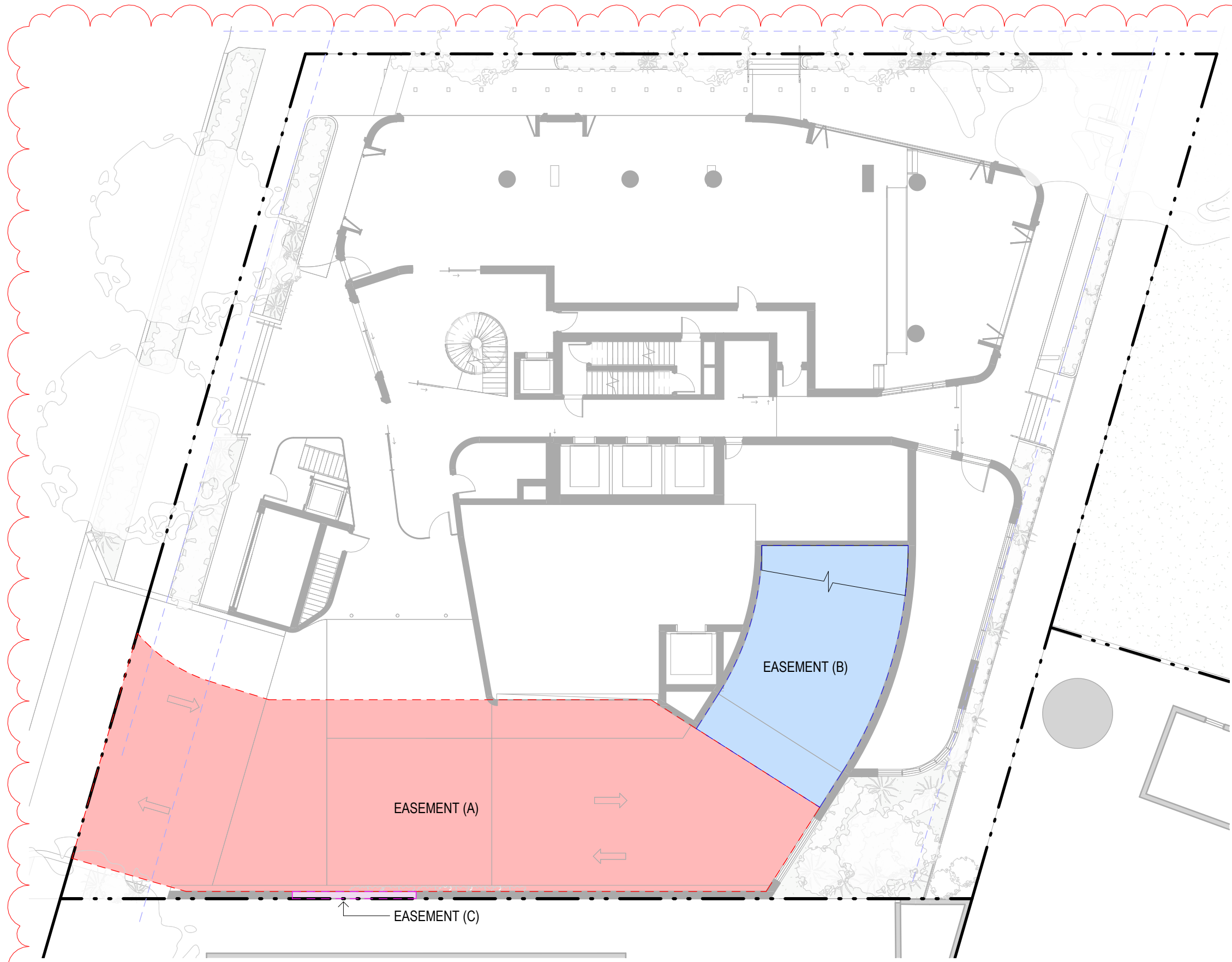


**1 GROUND LEVEL LANDSCAPE CONCEPT PLAN**  
1 : 200 @ A1



**1 LEVEL 2 LANDSCAPE CONCEPT PLAN**  
1 : 200 @ A1





1 **ACCESS EASEMENT DIAGRAM - GROUND LEVEL**  
1 : 200 @ A1



2 **ACCESS EASEMENT DIAGRAM - BASEMENT LEVEL 1**  
1 : 200 @ A1



3 **ACCESS EASEMENT DIAGRAM - BASEMENT LEVEL 2**  
1 : 200 @ A1



4 **ACCESS EASEMENT DIAGRAM - BASEMENT LEVEL 3**  
1 : 200 @ A1

- Easement (A) ■ – Right of Way Easement for future access by domestic and commercial vehicles limited in height to 4.5m – Benefitting 689 Pacific Highway.
- Easement (B) ■ – Right of Way Easement for future access by domestic vehicles limited in height to 2.2m – Benefitting 689 Pacific Highway.
- Easement (C) ■ – Easement for break-through wall 6m wide limited to 4.5m height and future access by commercial and domestic vehicles.
- Easement (D) ■ – Easement for break-through wall 6.1m wide limited to 2.2m height and future access by domestic vehicles.

NOTE:  
EASEMENT LOCATIONS ARE ONLY INDICATIVE AND DIAGRAMMATIC.  
EASEMENT PLANS FOR REFERENCE ONLY, EASEMENTS TO BE  
FORMALISED BY SURVEYOR.



STATUS

## CONCEPT DESIGN

Do not scale drawings. Verify all dimensions on site.  
This drawing is NOT SUITABLE for construction.

GRAPHIC SCALE

1:400 @ A3 0 5m 10m  
1:200 @ A1

DRAWING NOTES

B	29.04.24	Revised Concept DA
A	01.02.24	Issue for Concept DA
ISS	DATE	PURPOSE OF ISSUE

CLIENT

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**PROJECT**  
CHATSWOOD PH

691-699 PACIFIC HIGHWAY,  
CHATSWOOD

DRAWING NO. **CDA-800** ISSUE **B**

JOB NO. DPG2309 SCALE **AS SHOWN** DATE 29.04.24

DRAWING TITLE  
PROPOSED FUTURE ACCESS  
EASEMENT PLAN

DRAWN BY  
LA

CHECKED BY  
VS

